



## ACTIVITY DETERMINATION

Determined by the Minister administering the Housing Act 2001

Project No. BH2CF

### Conflict of Interest<sup>1</sup>

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Head of Housing Portfolio, Homes NSW.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Head of Housing Portfolio, Homes NSW as soon as I become aware of a possible conflict of interest.

Signed.....

Dated: 8 July 2025

Lisa Marigliano  
Executive Director, Portfolio Development  
Housing Portfolio  
Homes NSW

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I, as a delegate of the Minister administering the Housing Act 2001, determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

### SITE IDENTIFICATION

#### STREET ADDRESS

Unit/Street No

2-4  
5  
1-3

Street or property name

Satara Avenue  
Sydney Luker Road  
Utzon Road

Suburb, town or locality

Cabramatta West

Postcode

2166

Local Government Area(s)

Fairfield

Real property description (Lot and DP)

Lots 84 to 88 in Deposited Plan 204640

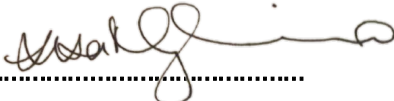
1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "close relative of a person" as defined in section 49(6) of the Property and Stock Agents Act 2002.



## ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of existing structures, removal of 8 existing trees, and construction of a 2-storey seniors housing development containing a total of 20 units comprising 8 x 1 bedroom and 12 x 2 bedroom dwellings, 10 at-grade car parking spaces, landscaping and associated site works, and consolidation into a single lot.

Signed.....

Dated: 8 July 2025

Lisa Marigliano  
Executive Director, Portfolio Development  
Housing Portfolio  
Homes NSW  
As a delegate of the Minister administering the Housing Act 2001

## SCHEDULE 1

### IDENTIFIED REQUIREMENTS

#### PART A – Standard Identified Requirements

#### THE DEVELOPMENT

*The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.*

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
<b>Architectural Plans</b>				
Project Cover Sheet	DA001	A	27/02/2025	Design Inc
Development Data	DA002	A	27/02/2025	Design Inc
Compliance Tables & Diagrams – General	DA005	A	27/02/2025	Design Inc
Block Analysis Plan	DA010	A	27/02/2025	Design Inc
Site Analysis	DA011	A	27/02/2025	Design Inc
Site Plan	DA012	A	27/02/2025	Design Inc
Demolition Plan	DA050	A	27/02/2025	Design Inc



Demolition Elevations	DA051	A	27/02/2025	Design Inc
Public Transport Access Path – Sheet 1	DA061	A	27/02/2025	Design Inc
Public Transport Access Path – Sheet 2	DA062	A	27/02/2025	Design Inc
Ground Level	DA100	A	27/02/2025	Design Inc
Level 1	DA101	A	27/02/2025	Design Inc
Roof Plan	DA102	A	27/02/2025	Design Inc
Elevations	DA300	A	27/02/2025	Design Inc
Elevations	DA301	A	27/02/2025	Design Inc
GA Sections	DA350	A	27/02/2025	Design Inc
GFA Plans & ADG & Deep Soil Compliance	DA400	A	27/02/2025	Design Inc
View from the Sun Diagrams	DA410	A	27/02/2025	Design Inc
View from the Sun Diagrams	DA411	A	27/02/2025	Design Inc
Shadow Diagram – 9am June 21	DA420	A	27/02/2025	Design Inc
Shadow Diagram – 12pm June 21	DA421	A	27/02/2025	Design Inc
Shadow Diagram – 3pm June 21	DA422	A	27/02/2025	Design Inc
Typical Dwelling Types 1 Bed	DA450	A	27/02/2025	Design Inc
Typical Dwelling Types 2 Bed	DA451	A	27/02/2025	Design Inc
Wall Types	DA550	A	27/02/2025	Design Inc
Material Schedule	DA900	A	27/02/2025	Design Inc
Perspectives	DA905	A	27/02/2025	Design Inc
<b>Landscape Plan</b>				
Cover Sheet & Drawing List	LA-0001	P5	27/02/2025	Design Inc
General Note and Legend	LA-0002	P5	27/02/2025	Design Inc
Overall Site Plan	LA-1000	P5	27/02/2025	Design Inc
General Arrangement Plan	LA-1100	P5	27/02/2025	Design Inc
General Arrangement Plan	LA-1101	P5	26/02/2025	Design Inc
Planting Plan	LA-3100	P5	27/02/2025	Design Inc
Planting Plan	LA-3101	P5	26/02/2025	Design Inc
Sections & Elevations	LA-4100	P5	27/02/2025	Design Inc
Sections & Elevations	LA-4101	P5	27/02/2025	Design Inc
Landscape Details – Sheet 1	LA-5100	P5	27/02/2025	Design Inc
Landscape Details – Sheet 2	LA-5101	P5	27/02/2025	Design Inc



Landscape Planting Schedule	LA-6100	P5	27/02/2025	Design Inc
Landscape Material Schedule	LA-6101	P5	27/02/2025	Design Inc
<b>Stormwater Plans</b>				
Cover Sheet Plan	000	A	27/02/2025	C&S Engineering Services
Stormwater Concept Plan Ground Level	101	A	27/02/2025	C&S Engineering Services
Maintenance Schedule & Miscellaneous Details Sheet	104	A	27/02/2025	C&S Engineering Services
Sediment & Erosion Control Plan & Details	105	A	27/02/2025	C&S Engineering Services
On-Site Detention Details and Calculation Sheet	106	A	27/02/2025	C&S Engineering Services
Catchment Plan	107	A	27/02/2025	C&S Engineering Services
Upstream Catchment Plan	108	A	27/02/2025	C&S Engineering Services
<b>Public Domain Works and Civil Plans</b>				
General Notes, Locality Plan & Drawing Schedule	C000	B	06/03/2025	C&S Engineering Services
Civil Works Layout Plan	C101	B	06/03/2025	C&S Engineering Services
Bulk Earthworks Plan	C110	B	06/03/2025	C&S Engineering Services
Driveway Profile – Longitudinal Sections	C201	A	27/02/2025	C&S Engineering Services
Construction Notes and Details Sheet	C301	A	27/02/2025	C&S Engineering Services
<b>Detail Survey Plans</b>				
Detail & Level Survey	1 of 9	-	17/10/2023	Norton Survey Partners
Detail & Level Survey	2 of 9	-	17/10/2023	Norton Survey Partners
Detail & Level Survey	3 of 9	-	17/10/2023	Norton Survey Partners
Detail & Level Survey	4 of 9	-	17/10/2023	Norton Survey Partners
Detail & Level Survey	5 of 9	-	17/10/2023	Norton Survey Partners
Detail & Level Survey	6 of 9	-	17/10/2023	Norton Survey Partners
Detail & Level Survey	7 of 9	-	17/10/2023	Norton Survey Partners
Detail & Level Survey	8 of 9	-	17/10/2023	Norton Survey Partners



Survey				Partners
Detail & Level Survey	9 of 9	-	17/10/2023	Norton Survey Partners
<b>BASIX</b>				
BASIX Certificate	1780571M_08	-	15/04/2025	SLR Consulting
BASIX Building Specification	-	-	-	-
<b>NatHERS</b>				
Nationwide house energy rating scheme – class 2 summary	0011854780	-	15/04/2025	-
<b>Reports</b>				
Access Assessment Report	24/0080	-	17/02/2025	East Coast Accessibility
Arboricultural Impact Assessment	-	3	06/03/2025	New Leaf Arboriculture
Geotechnical Investigation	23/3420	-	November 2023	STS Geotechnics
BCA Compliance Assessment	P240158	-	26/02/2025	BCA Vision
Operational (On-Going) Waste Management Plan	-	1.3	February 2025	BRP Consulting
Traffic Impact Assessment	23.458	V05	27/02/2025	Traffix
Acoustic Report	6224	-	07/03/2025	Koikas Acoustics

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Minister administering the Housing Act 2001.

## OPERATIONAL MATTERS

*The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.*



## Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Fairfield City Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

## Vehicular Access and Parking

10. A concrete vehicular crossing and layback shall be provided at the entrance / exit to the property. The crossing and layback shall be constructed in accordance with Fairfield City Council's standard requirements for residential crossings. Council shall be provided with plans for the crossing and layback together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback / driveway shall be borne by the Minister administering the Housing Act 2001. Obsolete gutter laybacks shall be constructed as kerb in accordance with Fairfield City Council's standards.

### **Note:**

*It is recommended that discussion be held with the relevant authorities before construction works commence.*

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate maneuvering facilities. The design of 4 of these car parking spaces must comply with AS 2890.6 and the design of the remaining 6 car parking spaces must comply with AS 2890.1.

## Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.



## **Building Siting**

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

## **Smoke Detection System(s)**

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
- i. be connected to a permanent 240V power supply; and
  - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

## **Site Soil Contamination**

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Minister administering the Housing Act 2001 on completion of the remediation works.

## **Landscaping**

18. Landscaping shall be carried out substantially in accordance with the approved landscape plans and maintained for a period of 12 months by the building contractor. Fairfield City Council shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Minister administering the Housing Act 2001.

## **Tree Removal**

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved Landscape Plan and Arboricultural Impact Assessment prepared by NewLeaf Arboriculture, dated 6 March 2025, and no other trees shall be removed without further approval.

## **Fencing**

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.



## **Provision of Letterbox Facilities**

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

## **Public Liability Insurance**

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

## **PRIOR TO ANY WORK COMMENCING ON THE SITE**

*The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.*

## **Disconnection of Services**

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

## **Demolition**

26. The builder shall notify the occupants of the premises on either side, opposite and at the rear of the site a minimum of five (5) working days prior to demolition or commencement of construction. Such notification shall be clearly written on an A4 size paper giving the date construction will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). Construction shall not commence prior to the date that is stated in the notice letter.
27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Minister administering the Housing Act 2001. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

### **Note:**

*Any buildings constructed before 1987 is assumed to contain asbestos.*

## **Utilities Service Provider Notification**

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Local Council or Sydney Water office) to determine whether or not



the development will affect the utility's sewer and water mains, stormwater drains and any easements.

**Note:**

*If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.*

### Council Notification

30. Fairfield City Council shall be advised in writing, of the date it is intended to commence work, including demolition. A minimum period of **five (5)** working days notification shall be given.

### Site Safety

31. A sign shall be erected in a prominent position on any site on which demolition or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible officer for the Minister administering the Housing Act 2001 for the work, and
  - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
  - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

**Note:**

*This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.*

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress, or the site is otherwise unoccupied.

**Note:**

*Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

33. No building or demolition materials are to be stored on the footpath or roadway.

### Site Facilities

34. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Fairfield City Council or if this is not practicable to some other council approved management facility.



- (b) Adequate refuse disposal methods and builders' storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.

- 35. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

### Protection of Trees

- 36. Trees and other vegetation that are shown to be retained on site, adjoining properties and Council's road reserve shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment prepared by NewLeaf Arboriculture, dated 6 March 2025.

### Waste Management

- 37. A final Waste Management Plan shall be prepared and submitted to the Minister administering the Housing Act 2001 by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

### PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

*The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.*

### Service Authority Clearances

- 38. A compliance certificate, or other evidence, shall be obtained from the appropriate water utility's office (e.g. Local Council or Sydney Water office) confirming service availability prior to work commencing.

**Note:**

*Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.*

- 39. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
- 40. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
- 41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.



## Stormwater Disposal

42. A detailed stormwater drainage plan, substantially in accordance with the approved concept stormwater drainage plan, shall be prepared and submitted to the Minister administering the Housing Act 2001. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Fairfield City Council's drainage code.
43. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Minister administering the Housing Act 2001 prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Minister administering the Housing Act 2001.

## DURING DEMOLITION AND CONSTRUCTION WORKS

*The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.*

### Landfill

44. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
45. Land fill materials must satisfy the following requirements:
  - i. be Virgin Excavated Natural Matter (VENM);
  - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
  - iii. be free of industrial waste and building debris.

### Heritage

46. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical or indigenous items have been uncovered, the Department of Climate Change, Energy, the Environment and Water must be contacted.
47. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Department of Climate Change, Energy, the Environment and Water.

### Demolition

48. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
49. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.



50. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) who have current SafeWork NSW accreditation in asbestos removal.
51. Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2<sup>nd</sup> Edition [NOHSC:2002 (2005)].
52. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the NSW Department of Climate Change, Energy, the Environment and Water.
53. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Minister administering the Housing Act 2001 demonstrating the appropriate disposal of the asbestos waste.
54. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
55. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
56. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

### **Survey Reports**

57. Survey reports shall be submitted by the building contractor to the Minister administering the Housing Act 2001 prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

### **Hours of Demolition / Construction / Civil Work**

58. Demolition / construction / civil work shall only occur on the site between the hours of 7am to 5pm Monday to Saturday with no work permitted on Sundays or public holidays.

### **Excavation and Backfilling**

59. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.



## **Pollution Control**

60. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
61. No fires shall be lit or waste materials burnt on the site.
62. No washing of concrete forms or trucks shall occur on the site.
63. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
64. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
65. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
66. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

## **Impact of Construction Works**

67. The Minister administering the Housing Act 2001 shall bear the cost of any necessary adjustments to utility mains and services.
68. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

## **Termite Protection**

69. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection.
- (b) the date of installation of the system.
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label.
- (d) the need to maintain and inspect the system on a regular basis.

## **PRIOR TO OCCUPATION OF THE DEVELOPMENT**

*The following Identified Requirements are to be complied with prior to the occupation of the development.*



## General

70. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

## Council Infrastructure Damage

71. The cost of repairing any damage caused to Fairfield City Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

## Stormwater Drainage

72. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Fairfield City Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Minister administering the Housing Act 2001 and Fairfield City Council.

## PART B – Additional Identified Requirements

### Specific Requirements for Seniors Housing

73. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of *State Environmental Planning Policy (Housing) 2021* other than Part 1, Section 4, Clauses 6 & 7.

**Note:**

*This requirement does not apply to the provisions set out under sections 2, 5-13 and 15-21 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.*

74. Only the following kinds of people shall be accommodated in the approved development:

- (a) seniors or people who have a disability; or



- (b) people who live within the same household with seniors or people who have a disability; or
- (c) staff employed to assist in the administration and provision of services to the seniors housing development.

**Note:**

*It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:*

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

- 75. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
- 76. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.
- 77. Entry doors to units shall be provided with door viewers to enable residents to view approaches to their units without the need to open the door.
- 78. A new footpath shall be constructed on the northern side of Maree Avenue to provide a suitable accessible pathway between the existing footpath on Sydney Luker Road, and the pedestrian walkway in Maree Avenue.

The new footpath shall be generally in accordance with the location detailed on the Detail and Level Survey Plan No.s 1 and 4, prepared by Norton Survey Partners, dated 17/10/2023, and also detailed on Architectural Plan DA062 Revision A (Public Transport Access Path – Sheet 2) prepared by Design Inc and dated 27/02/2025, however shall also include a new kerb ramp on Maree Street. The new kerb ramp shall be located generally opposite to the existing kerb ramp in Sydney Luker Road.

The footpath will facilitate an accessible pathway being provided from the site to the bus stops on St Johns Road. Footpath works are to be undertaken in accordance with the relevant specifications of Fairfield City Council.

## Site Specific Requirements

### **Air Conditioning**

#### 79. Design and Installation

Any air conditioning unit installed on the premises must be designed, specified and installed to ensure that they comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary. Acoustic treatment may be required to ensure this is achieved.



Certification, from an appropriately qualified acoustic consultant, shall be provided at construction documentation stage that the air conditioning units can comply with this requirement.

Further certification, from an appropriately qualified acoustic consultant, shall be provided prior to occupation that the installed air conditioning units comply with this requirement.

#### On-Going

The use of any air-conditioning unit must comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not:

- (a) emit a noise that is audible within a habitable room in any adjoining residence (regardless of whether any door or window to that room is open):
  - (i) before 8.00 am and after 10.00 pm on any Saturday, Sunday or Public Holiday; or
  - (ii) before 7.00 am or after 10.00 pm on any other day; and
- (b) emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary.

#### **Solar (Photovoltaic Electricity Generating) Energy System**

80. Where a solar energy system is proposed it must satisfy the following requirements:

- (a) the system is installed in accordance with the manufacturer's specifications or by a person who is accredited by the Clean Energy Council for the installation of photovoltaic electricity generating systems, and
- (b) the solar energy system must not reduce the structural integrity of any building to which the system is attached, and
- (c) the system must not involve mirrors or lenses to reflect or concentrate sunlight, and
- (d) the system must not protrude more than 0.5m from the wall or roof (as measured from the point of attachment), and
- (e) the system is installed no less than 3m from any adjoining property boundary.

Certification from an appropriately person shall be provided at construction documentation stage that the solar energy system/s are capable of complying with this requirement.

Further certification, from an appropriately qualified person shall be provided prior to occupation that the installed solar energy system/s comply with this requirement.

- 81. Construction measures and materials are to be implemented in accordance with Fairfield City Council's *Building in Saline Environments* policy, to minimise the risk of salt damage to the development from urban salinity.
- 82. The lighting within the common breezeway areas shall be designed and positioned to ensure that light spill does not cause nuisance to adjoining properties, including 5 Utzon Road and 6 Satara Avenue. This may also require the installation of sensor lighting.
- 83. A new street tree on Satara Avenue shall be placed adjacent to the waste store.



84. The western boundary fencing forward of the building line on both Satara Avenue and Utzon Road, shall be tapered to a height of 1.2m at the site frontage and be designed to comply with vehicular sightline requirements in accordance with AS2890.1.

#### Council Conditions

85. Additional street tree planting shall be provided on Utzon Road and Sydney Luker Road at 7m spacings and at a minimum pot size of 45L. The tree species should complement the development and comprise either *Lagerstromea indica x fauriei* – Crepe Myrtle, *Prunus x blereana* – Double Flowering Plum, or *Pyrus callereana* ‘Chanticleer’ – Ornamental Pear. The street tree planting shall be undertaken in consultation with Fairfield City Council.
86. Tree protection requirements shall be complied with during any building works:
- The retained trees on the property, on the road reserve and surrounding properties that may be affected by machinery or construction work are to have appropriate Tree Protection Zone (TPZ) put in place. TPZ should not be less than 2 metres nor greater than 15 metres (except where crown protection is required).
  - Any tree pruning must be in accordance with Australian Standard AS4373-2007, Pruning of Amenity Trees (AS4373).

#### ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialing 1100.



BH2CF

## DEVELOPMENT APPLICATION \_ ARCHITECTURAL DRAWINGS

DWG NO	SHEET NAME	REVISION	DESCRIPTION	Date
DA001	PROJECT COVER SHEET	A	DA SUBMISSION	27/02/2025
DA002	DEVELOPMENT DATA	A	DA SUBMISSION	27/02/2025
DA005	COMPLIANCE TABLES & DIAGRAMS - GENERAL	A	DA SUBMISSION	27/02/2025
DA010	BLOCK ANALYSIS PLAN	A	DA SUBMISSION	27/02/2025
DA011	SITE ANALYSIS	A	DA SUBMISSION	27/02/2025
DA012	SITE PLAN	A	DA SUBMISSION	27/02/2025
DA050	DEMOLITION PLAN	A	DA SUBMISSION	27/02/2025
DA051	DEMOLITION ELEVATIONS	A	DA SUBMISSION	27/02/2025
DA061	PUBLIC TRANSPORT ACCESS PATH - SHEET 1	A	DA SUBMISSION	27/02/2025
DA062	PUBLIC TRANSPORT ACCESS PATH - SHEET 2	A	DA SUBMISSION	27/02/2025
DA100	GROUND LEVEL	A	DA SUBMISSION	27/02/2025
DA101	LEVEL 1	A	DA SUBMISSION	27/02/2025
DA102	ROOF PLAN	A	DA SUBMISSION	27/02/2025
DA300	ELEVATIONS	A	DA SUBMISSION	27/02/2025
DA301	ELEVATIONS	A	DA SUBMISSION	27/02/2025
DA350	GA SECTIONS	A	DA SUBMISSION	27/02/2025
DA400	GFA PLANS & ADG & DEEP SOIL COMPLIANCE	A	DA SUBMISSION	27/02/2025
DA410	VIEW FROM THE SUN DIAGRAMS	A	DA SUBMISSION	27/02/2025
DA411	VIEW FROM THE SUN DIAGRAMS	A	DA SUBMISSION	27/02/2025
DA420	SHADOW DIAGRAM - 9AM JUNE 21	A	DA SUBMISSION	27/02/2025
DA421	SHADOW DIAGRAM - 12PM JUNE 21	A	DA SUBMISSION	27/02/2025
DA422	SHADOW DIAGRAM - 3PM JUNE 21	A	DA SUBMISSION	27/02/2025
DA450	TYPICAL DWELLING TYPES 1 BED	A	DA SUBMISSION	27/02/2025
DA451	TYPICAL DWELLING TYPES 2 BED	A	DA SUBMISSION	27/02/2025
DA900	MATERIAL SCHEDULE	A	DA SUBMISSION	27/02/2025
DA905	PERSPECTIVES	A	DA SUBMISSION	27/02/2025

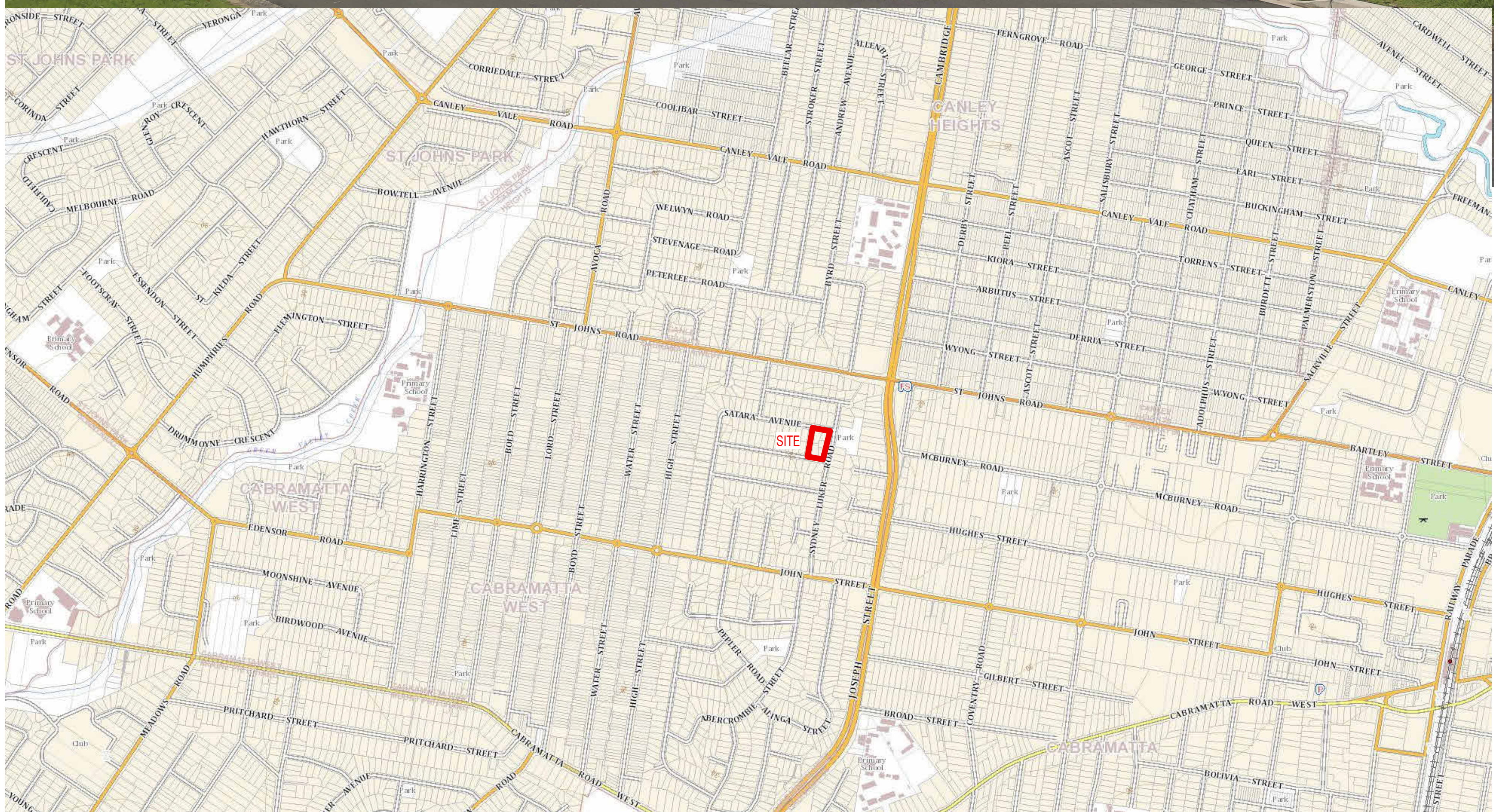
Basic Building Fabric Requirements		
Element	Material Type	Detail
External walls	Brick veneer + R2.5 Insulation + Plasterboard	Medium
Internal walls	Plasterboard on studs + No insulation Hebel Party Wall + Plasterboard	Medium  Intra-tenancy walls  Intra-tenancy walls
Windows	<b>All apartments</b>  ALM-001-03 A ALM-002-03 A	NFRC Glazing System values:  ⇒ U ≤ 5.4 and SHGC = 0.49 (± 5%) ⇒ U ≤ 5.4 and SHGC = 0.58 (± 5%)
Downlights	As specified	Sealed
Ceiling Fans		
Floor	Concrete slab	Tile (kitchen & wet) Tile (Living area) Carpet (Bedrooms)
Ceiling	Plasterboard + R3.0 Insulation	(Balconies above and Roof top above) No insulation of neighbouring unit above
Ceiling Penetrations	Downlights, Exhaust Fans Ceiling Fans to Kitchen/Living and Bedrooms	All ceiling penetrations to be sealed
Roof	Metal Sheeting with Foil Insulation	Medium colour

**BASIX Commitments Summary – Refer to the BASIX Certificate for more details**

Water	
Element	Details
Rainwater Tank Size	10KL
Showerheads	4 star (> 4.5 but ≤ 6.0 L/min) (WELS scheme)
Toilets	4 star (WELS scheme)
kitchen taps and bathroom taps	5 star (WELS scheme)
Clothes Washer	Not specified
Dishwasher	Not specified

Energy	
Element	Details
Central Hot Water System	Electric Heat Pump Air Sourced Electric Storage
Heating/Cooling to Living Room	1 phase AC (EER 3.0-3.5)
Cooktop/oven	Electric cooktop and electric oven
Photovoltaic System	52kW

Common Areas Ventilation and Lighting		
	Ventilation Type	Lighting Type
Ground floor Lobby	Natural/No Mechanical	LED
Lobby/Hallways	Natural/No Mechanical	LED



# DesignInc

<b>Nominated Architects</b>			
<b>Ian Armstrong</b>	<b>7260</b>	<b>Cathryn Drew-Bredin</b>	<b>7269</b>
<b>Cameron Martin</b>	<b>9194</b>	<b>Mary Anne McGirr</b>	<b>10946</b>

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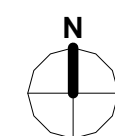


## PROJECT

## CABRAMATTA WEST SENIORS HOUSING

**PROJECT ADDRESS**  
**2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3**  
**UTZON ROAD CABRAMATTA WEST**

NO.	DATE	REVISION
A	27/02/2025	DA SUBMISSION



PROJECT N°.  
STATUS  
SCALE  
DRAWN BY

P23-182 / BH2CF  
FOR DA  
@ A1  
07/25/23

**TITLE**

# PROJECT COVER SHEET

DRAWING N°.  
**DA001**

**REVISION**  
**A**



DEVELOPMENT DATA TABLE				
SITE AREA	2867.3			
JOB REFERENCE	BH2CF			
LOCALITY   SUBURB	CABRAMATTA WEST			
LOT NUMBER & DP	LOT 84 IN DEPOSITED PLAN 204640			
	LOT 85 IN DEPOSITED PLAN 204640			
	LOT 86 IN DEPOSITED PLAN 204640			
	LOT 87 IN DEPOSITED PLAN 204640			
	LOT 88 IN DEPOSITED PLAN 204640			
SITE AREA	2870.24			
	CONTROL	REQUIREMENT	PROPOSED	COMPLIES
GFA	SEPP HOUSING 2021	1433.65	1470.34	YES acceptable margin above
FSR	SEPP HOUSING 2021	0.50:1	0.51:1	YES
HEIGHT	SEPP HOUSING 2021	9.50m	8.74m	YES
SETBACK	FAIRFIELD COUNCIL DCP			
	PRIMARY FRONTAGE - SATARA	4.5	6	YES
	PRIMARY FRONTAGE - UTZON	4.5	5.2	YES
	SECONDARY TO CORNER LOTS	3	3	YES
	SIDE & REAR WALLS GROUND FLOOR	0.9	5	YES
PARKING	COUNT OF UNIT TYPES	HSEPP s.42(1)(e) PARKING RATES	PARKING REQUIREMENT	
	1BR	8.00	0.40	3.20
	2BR	12.00	0.50	6.00
			SUBTOTAL	10.00 YES
	Accessible Parking per HSEPP s.108(i)	20.00	0.20	4.00 YES
LANDSCAPED ZONE	HSEPP - LESSER OF 35m2 PER DWELLING OR 30% OF THE SITE AREA	700	1107	YES
DEEP SOIL (MIN. 3M WIDE)	HOUSING SEPP			
	HOUSING SEPP	15%	430	721 YES
	TO REAR OF PROPERTY	65%	280	288 YES - included the central area
	FAIRFIELD COUNCIL DCP	MIN. 30.0% OF SITE SOFT SOIL ZONE	38.6%	YES
	FAIRFIELD COUNCIL DCP	MIN. 20.0% OF SITE DEEP SOIL	25.1%	YES
WASTE REQUIREMENTS		GENERAL WASTE	RECYCLING	ORGANICS
1BR / 2BR	20 UNITS TOTAL	120L	80L	40L
Total (L)		2400L	1600L	800L
No. Bins (240L) Each Stream		10	7	4
240L BINS TOTAL		21 TOTAL - REFER TO WASTE REPORT		
TREE RETENTION	TREE TYPE	RETENTION VALUE	REMOVED   RETAINED	
1	Weeping Bottlebrush	MED	RETAINED	
2	Weeping Bottlebrush	MED	RETAINED	
3	Jacaranda	MED	REMOVED	
4	Jacaranda	HIGH	REMOVED	
5	Bangalow Palm	HIGH	RETAINED	
6	Bangalow Palm	HIGH	RETAINED	
7	Bangalow Palm	HIGH	RETAINED	
8	Bangalow Palm	HIGH	RETAINED	
9	Crepe Myrtle	MED	REMOVED	
10	Cook Pine	HIGH	RETAINED	
11	Wallangarra White Gum	MED	REMOVED	
12	Large Leaf Privet	REM	REMOVED	
13	Photinia	LOW	REMOVED	
14	Jacaranda	MED	RETAINED	
15	Jacaranda	LOW	REMOVED	
16	Jacaranda	LOW	REMOVED	

SOLAR ACCESS AND CROSS VENTILATION							
DWELLINGS			8 x 1-BR 12 x 2-BR TOTAL 20 DWELLINGS				
		LEVEL   LOCATION	TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	2HRS SOLAR	CROSS VENTILATION
NORTH	UNIT 1	GROUND LEVEL	1BR	52	23	Y (10:00-14:00)	Y
	UNIT 2		1BR	52	23	Y (10:00-14:00)	Y
	UNIT 3		1BR	52	23	Y (10:00-14:00)	Y
	UNIT 4		2BR	77	22	Y (09:00-13:00)	Y
	UNIT 5		1BR	57	19	N	N
	UNIT 6		2BR	76	22	Y (09:00-10:30 & 14:00-14:30)	Y
	UNIT 11	LEVEL 1	1BR	52	16	Y (10:00-14:00)	Y
	UNIT 12		1BR	52	16	Y (10:00-14:00)	Y
	UNIT 13		1BR	52	16	Y (10:00-14:00)	Y
	UNIT 14		2BR	77	12	Y (09:00-13:00)	Y
	UNIT 15		1BR	58	10	N	N
	UNIT 16		2BR	77	14	Y (09:00-10:30 & 14:00-15:00)	Y
SOUTH	UNIT 07	GROUND LEVEL	2BR	75	23	Y (09:00-11:00)	Y
	UNIT 08		2BR	75	22	N	Y
	UNIT 09		2BR	75	20	Y (13:00-15:00)	Y
	UNIT 10		2BR	75	20	Y (13:00-15:00)	Y
	UNIT 17	LEVEL 1	2BR	75	12	Y (09:00-11:00)	Y
	UNIT 18		2BR	75	12	N	Y
	UNIT 19		2BR	75	10	Y (13:00-15:00)	Y
	UNIT 20		2BR	75	10	Y (13:00-15:00)	Y
PROPOSED						16 out of 20 or 80%	18 out of 20 or 90%
HOUSING SEPP	MINIMUM					-	-
LAHC	DESIGN REQUIREMENTS					70%	60%
	COMPLIES					COMPLIES	COMPLIES

FCDCP REQUIREMENTS

CL6.A4.2 a) A MINIMUM OF 30% OF THE SITE IS TO BE DEDICATED FOR SOFT SOIL ZONE COMPLIES @38.6%

b) A MINIMUM OF 20% OF THE SITE IS TO BE DEDICATED FOR DEEP SOIL COMPLIES @25.1%



PROJECT  
CABRAMATTA WEST  
SENIORS HOUSING  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST

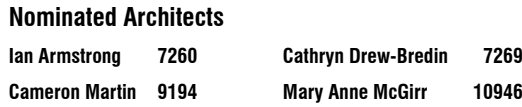
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NO. DATE REVISION

PROJECT N°. P23-182 / BH2CF  
STATUS FOR DA  
SCALE @ A1  
DRAWN BYauthor CHECKED BHecker DATE CREATED 25/04/2024

TITLE  
DEVELOPMENT DATA  
DRAWING N°. DA002  
REVISION A



ITEM	CONCEPT A	NOTES
Part 1		
2. Sitting Standards	Gradient 1:10 less 50% wheelchair accessible Conintunous path of travel	100% Car parking and entrances to the two buildings are accessible and access provided to the upper level with lift
3 Letter Boxes	Hard Stand Area Wheel chair accessible on continuous path of travel	
	Lockable Prominent location At least 20 % between0.6-1.2m	
4 Car parking	Class 1 building - Car parking space 3.2 wide Class 2 Building - to AS2890.6 At least 50 % to AS2890.6	60%
	Visitor spaces	All visitors spaces are on the road - accessible path provided from road to front door
5. Accessible entry	Clear entrance opening to AS1428.1 Circulation in front door is to AS1428.1	
6. Interior	Internal doorway to meet AS1428.1 Internal corridor to be at least 1m wide The circulation space in front and behind must comply for Kitchen, Laundry, Bathroom Toilet Bedroom Living Area - Main area of private open space	1.05-1.1 designed for - to allow tolerance
7 Bedroom	Queen sized bed Area around the bed in main bedroom, 1.2 metre foot end 1m both sides At least two GPO	Tolerances allowed for Tolerances allowed for
8 Bathroom	One GPO opposite wall One bathroom on same floor as entry Accessible by lift Floor to be slip resistance Wash basin to comply with AS1428.1 Shower without hob Shower that complies to 121428.1 Shower Corner of room Wall capable to accommodate grabrails A wall cabinet shelving A double GPO in accessible location as1428.1	
9 Toilet	On same floor as entry Accessible by lift Toilet has a water locset pan Toilet is in the corner Toilet is set out per AS1428.1 Circulation space in front of toilet is at least 1.2m Clear of door swings Circulation space around the toilet is to AS1428.1 Floor to be slip resistance Wall capable to accommodate grabrails Removable shower screen provided External paving to meet SA HB138 Door handles to comply to AS1428.1	
10 Surface of Balconies	Comply with AS1428.1	
11 Door hardware	Capable to comply with AS1428.1	
12 Switches and power points	Except Remote controls Power points not regularly switched off.	
13 Private lift		No private lift provided - Common lift to comply to BCA and AS1428.1
Part 2 - Specific standards for Independent living units		
14 Application of standards in this Part		
15 Bedroom	Same level as entry of unit Accessible by lift	
16 Living room	Same level as entry of unit Accessible by lift Circulation space clear of all fixtures Circulation space of at least 2.25m diameter A telecommunication or data outlet to a GPO	
17 Main area of private open space	Same level as entry of unit Accessible by lift	
18 Kitchen	Same level as entry of unit Accessible by lift Circulation space of at least 1.2m diameter Increase circulation to 1.55 without moving sink Increase circulation to 1.55 without moving load bearing walls Increase circulation to 1.55 without breaching other circulation spaces Bench space of at least 800mm long Bench clear of obstructions Bench not in the corner Level tap to be within 300mm of front of bench Cooktop next to work surface Isolating switch to cooktop Oven that is between 0.45-1.25m above floor Next to work surface One GPO within 300mm of front of bench Cupboards not to be in corner Cupboards face user likely to be Overhead Cupboards - D pull retro fitting Below bench Cupboards - D pull retro fitting Cooktop isolating switch and gpo not in the corner Cabinet below surface of workspace to be easily removable	
19 Laundry	Same level as entry of unit Accessible by lift Circulation space that complies to AS1428.1 Sufficient to accommodate washing machine and dryer Clear space in front of each machine Floor to be slip resistance Continuous path of travel to private open space and clothes line Circulation space may overlap a door circulation space Cupboards - D pull retro fitting	
20 Linen storage	at least 600mm wide adjustable shelving	
21 Lift access in multi-storey buildings	Upper levels must be accessible via lift - to comply with BCA	
22 Garbage and recycling	must be accessible by a continuous accessible path	
	Achieved	
	Ready to be achievable - later details to confirm	
	Not applicable	
	Not compliant	



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# CABRAMATTA WEST SENIORS HOUSING

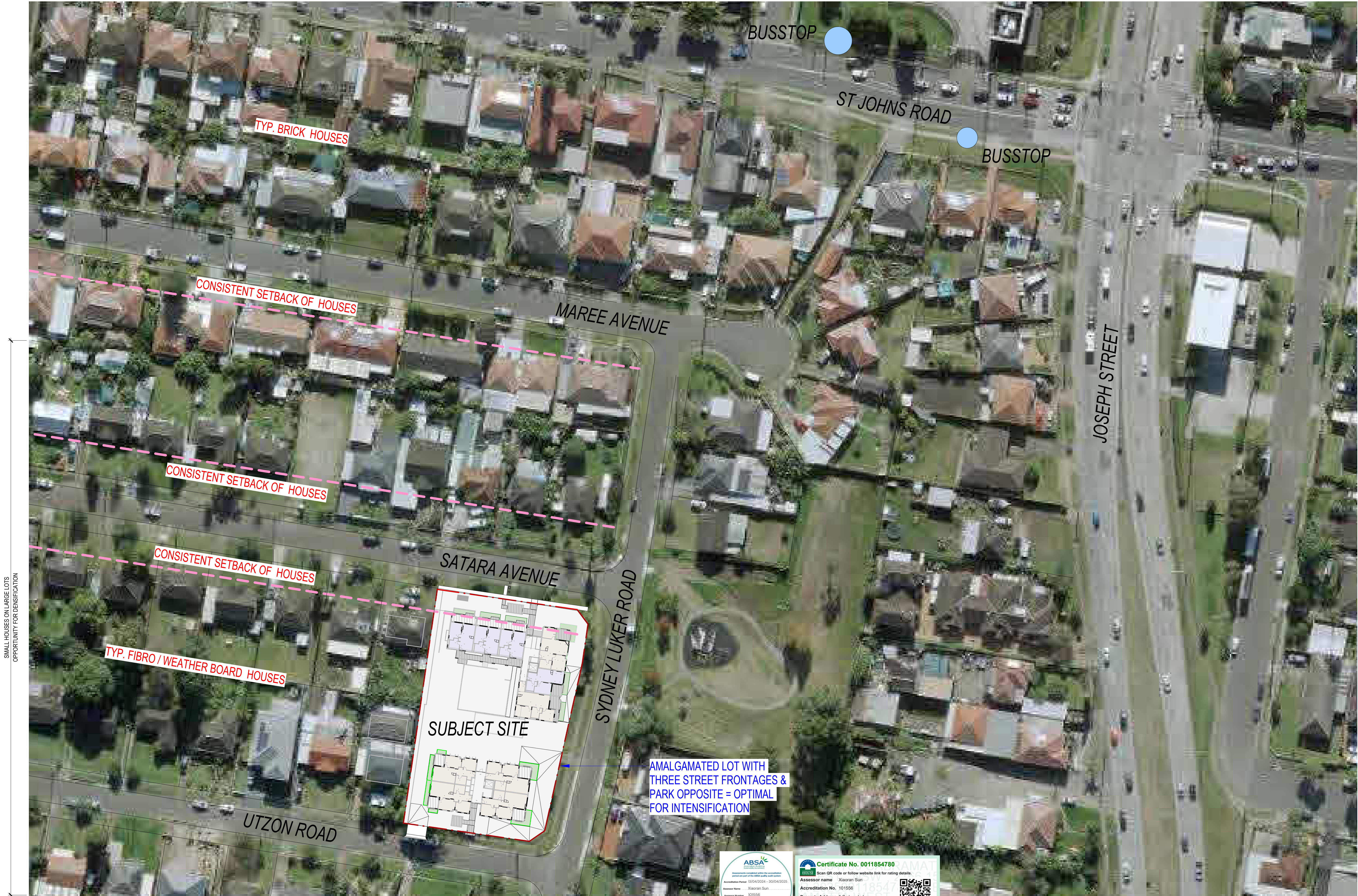
**PROJECT ADDRESS**  
**2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3**  
**UTZON ROAD CABRAMATTA WEST**



PROJECT N°.	P23-182 / BH2CF
STATUS	FOR DA
SCALE	@ A1
DRAWN BY	Author
CHECKED BY	Checker
DATE CREATED	07/25/23

**TITLE**  
**COMPLIANCE TABLES &  
DIAGRAMS - GENERAL**  
**DRAWING N°.** **REVISION**  
**DA005** **A**





DesignInc

Nominated Architects  
Ian Armstrong 7260  
Cameron Martin 9194  
Cathryn Drew-Bredin 7269  
Mary Anne McGirr 10946

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PROJECT  
**CABRAMATTA WEST  
SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST

A 27/02/2025 DA SUBMISSION  
NO. DATE REVISION

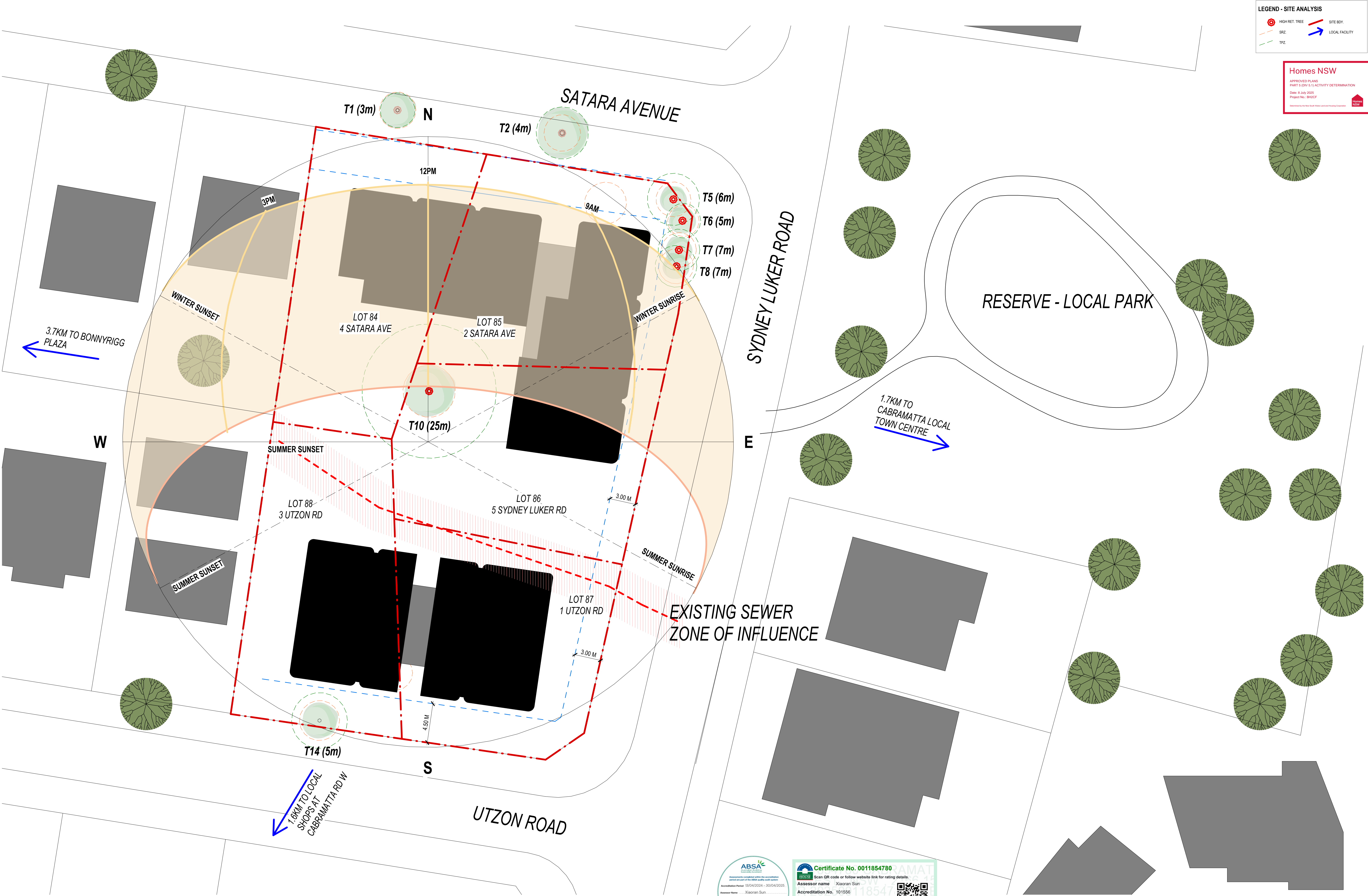


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STATUS  
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DRAWN BY KR CHECKED BY LVE DATE CREATED 20/11/24

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TITLE  
**BLOCK ANALYSIS PLAN**  
DRAWING N°.  
**DA010**  
REVISION  
**A**





LEGEND - SITE ANALYSIS

- HIGH RET. TREE
- SITE Bdy.
- SRZ
- LOCAL FACILITY
- TPZ

Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION  
Date: 8 July 2025  
Project No: BH2CF



SITE AREA: 2867.3m<sup>2</sup>  
GROSS FLOOR AREA: 1470.34m<sup>2</sup>  
LANDSCAPED (SOFTSCAPE) AREA: 1081m<sup>2</sup>



**DesignInc**

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Ian Armstrong 7260  
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Cathryn Drew-Bredin 7269  
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**PROJECT**  
**CABRAMATTA WEST SENIORS HOUSING**  
**PROJECT ADDRESS**  
**2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3 UTZON ROAD CABRAMATTA WEST**

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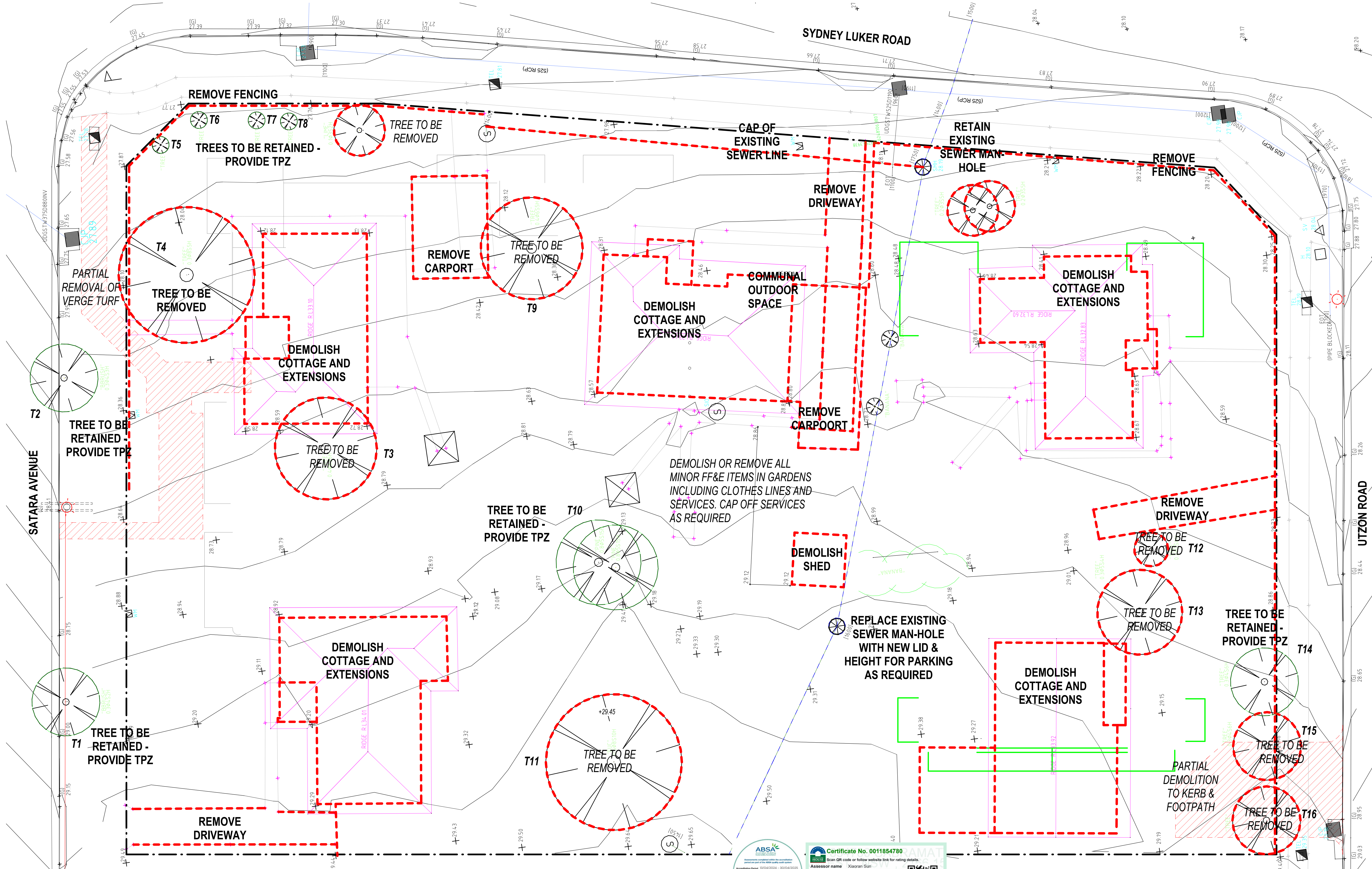
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**DATE CREATED** 21/01/25

**TITLE**  
**SITE PLAN**  
**DRAWING N°.**  
**DA012**

**REVISION**  
**A**







NOTE: DEMOLITION IS TO BE UNDERTAKEN IN ACCORDANCE WITH AS 2601-2001: THE DEMOLITION OF STRUCTURES AND WORKCOVER REQUIREMENTS.

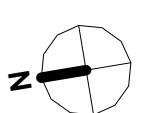
**DesignInc**

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Ian Armstrong 7260  
Cameron Martin 9194  
Cathryn Drew-Bredin 7269  
Mary Anne McGirr 10946

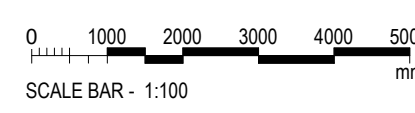
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PROJECT  
**CABRAMATTA WEST SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST



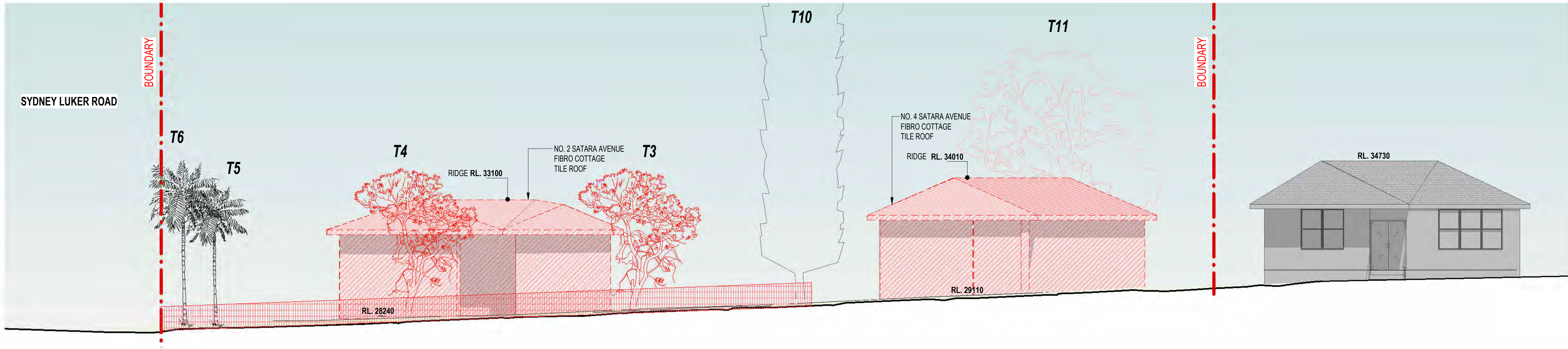
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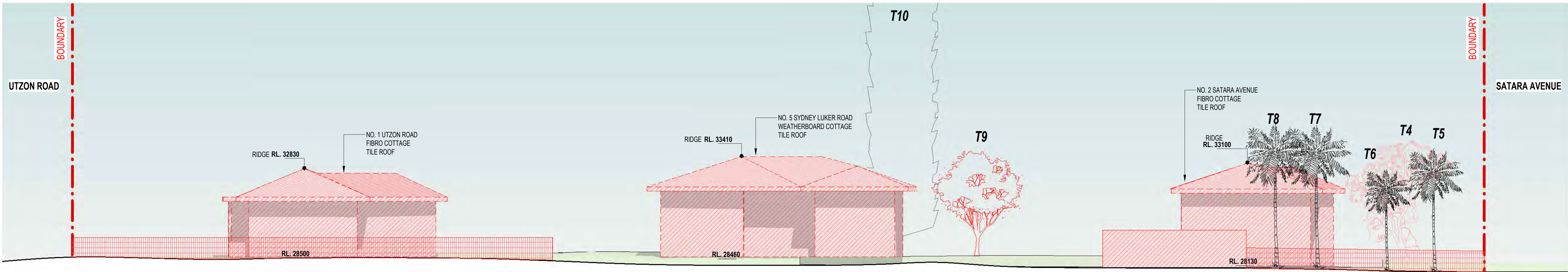
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DRAWING N°. **DA050**

REVISION  
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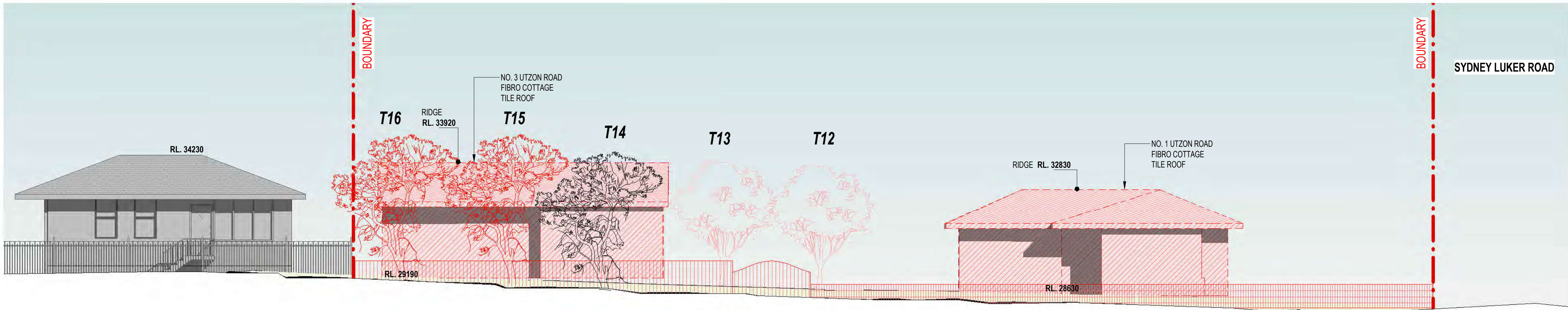




1 NORTH ELEVATION DEMOLITION



2 EAST ELEVATION - DEMOLITION



3 SOUTH ELEVATION DEMOLITION

NOTE: Demolition is to be undertaken in accordance with AS 2601-2001: The Demolition of Structures and Workcover requirements.

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Cameron Martin 9194  
Cathryn Drew-Bredin 7269  
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CLIENT  
NSW  
GOVERNMENT

Homes  
NSW

PROJECT  
CABRAMATTA WEST  
SENIORS HOUSING  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST



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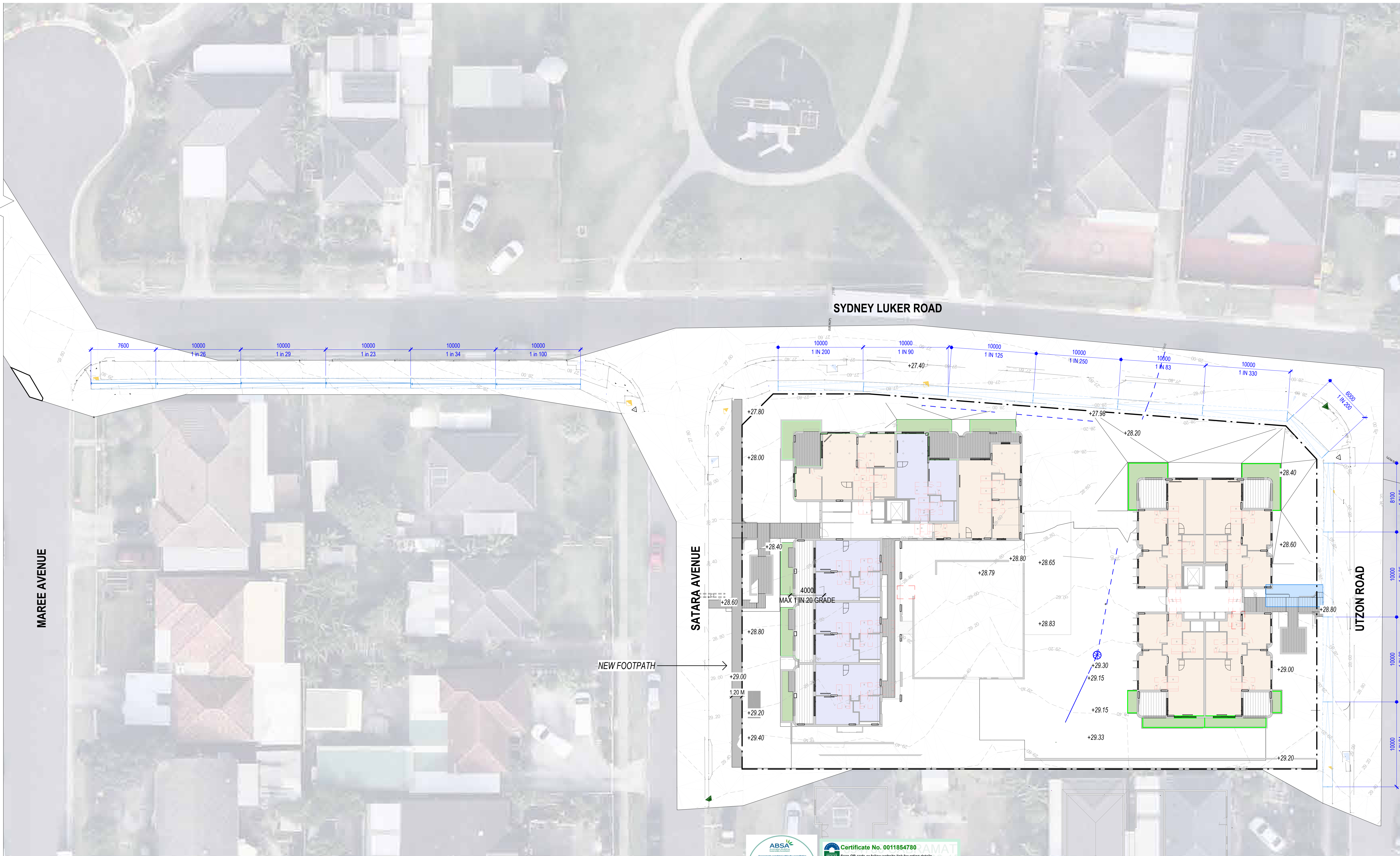
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DRAWN BY LT CHECKED BY LVE DATE CREATED 20/11/24

TITLE  
DEMOLITION  
ELEVATIONS  
DRAWING N°. DA051



REVISION  
A





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<b>Cameron Martin</b>	<b>9194</b>	<b>Mary Anne McGirr</b>	<b>10946</b>

[illegible]

**CLIENT**



**NSW**  
GOVERNMENT



PROJECT

**CABRAMATTA WEST  
SENIORS HOUSING**

PROJECT ADDRESS

**2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD  
UTZON ROAD CABRAMATTA WEST**



**ABSA**  
Accredited University  
Sustainability Institution

Assessments completed within the accreditation period are part of the ABSA quality audit system.

Accreditation Period 13/04/2024 - 30/04/2025.

Assessor Name Xiaoran Sun.

Assessor Number 101556

The Accredited Assessor is qualified to use the **ABSA** Accredited Software and has agreed to follow the **ABSA** Code of Practice.



**Certificate No. 0011854780**

Scan QR code or follow website link for rating details.


**Assessor name** Xiaoran Sun

**Accreditation No** 101556

**Property Address** 5 Sydney Luker Road, CABRAMATTA, WEST

hstar.com.au/QR/Generate?ID=101556

The logo for Homes NSW is at the top left, featuring a red house icon with the text 'Homes NSW' in white. Below the logo, the title 'APPROVED PLANS' is in bold, followed by 'PART 5 (DIV 5.1) ACTIVITY DETERMINATION'. The date 'Date: 8 July 2025' and project number 'Project No.: BH2CF' are listed. At the bottom, it says 'Determined by the New South Wales Land and Housing Corporation.'



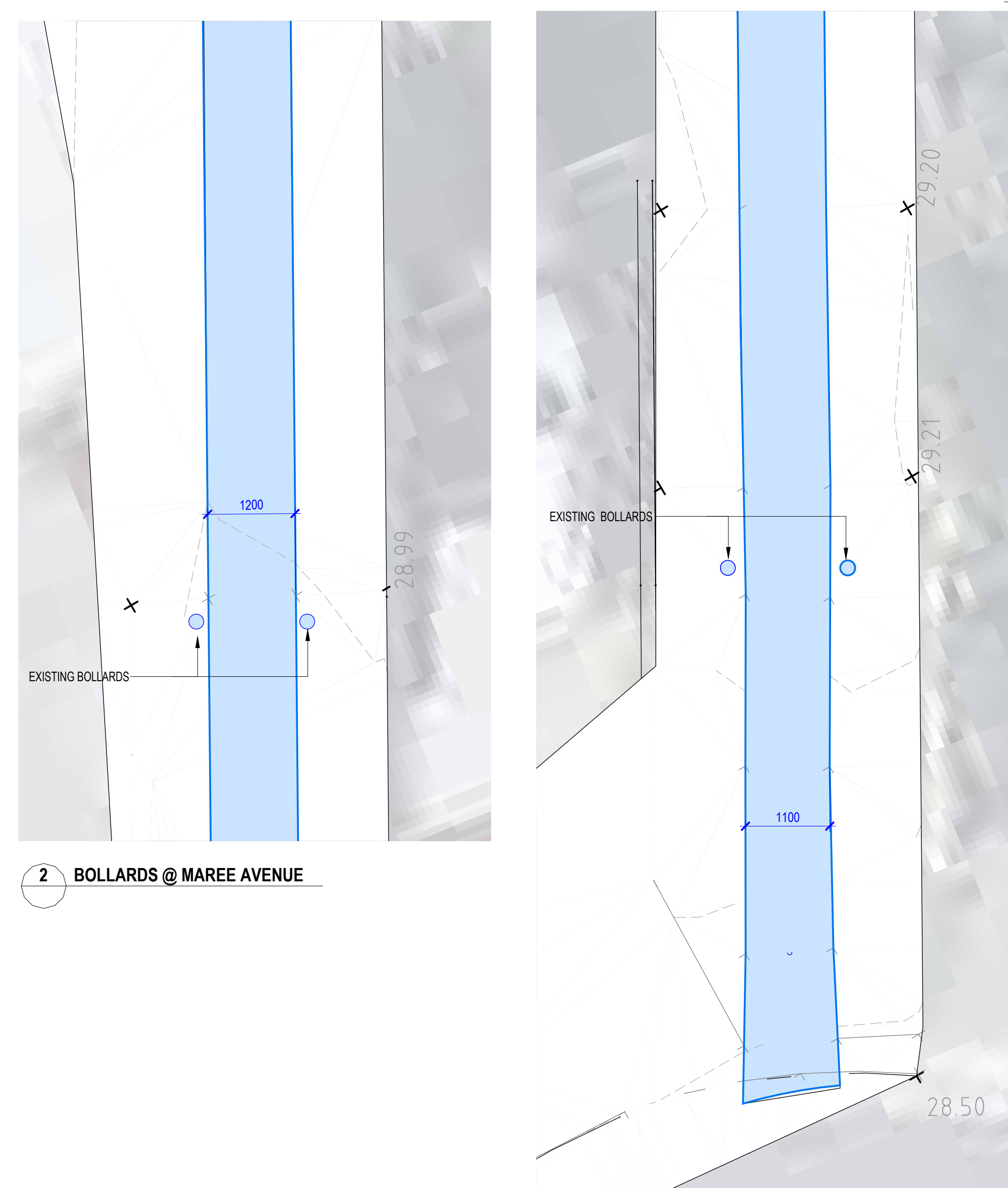
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SCALE  
DRAWN BY

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P23-182 / BH2CF  
FOR DA  
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BY LVE DATE CREATED 23/05/2024

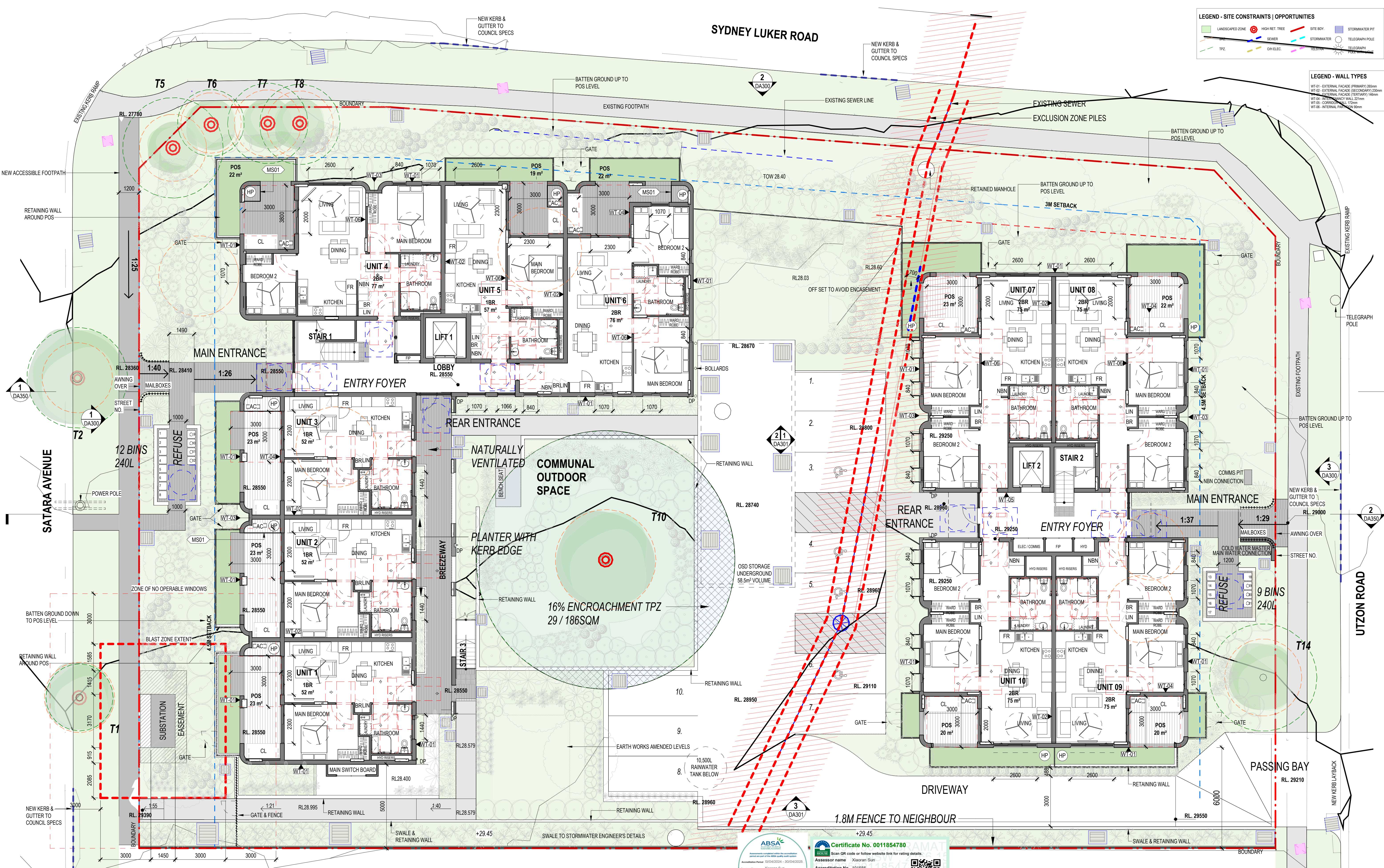
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DRAWING N°.	
<b>DA061</b>	<b>A</b>





# PUBLIC TRANSPORT ACCESS PATH - SHEET 2





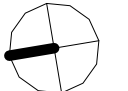
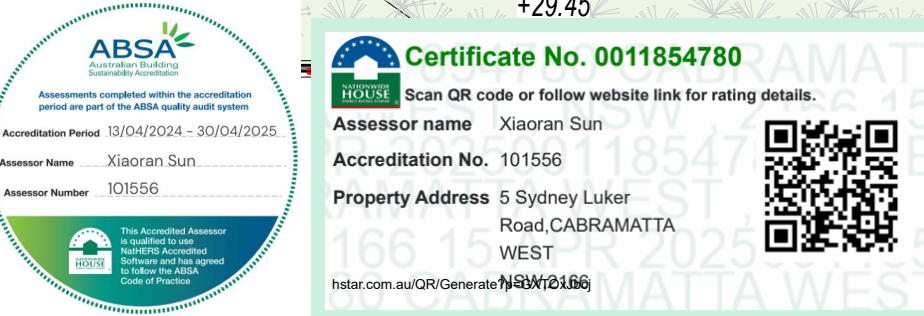
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**PROJECT**  
**CABRAMATTA WEST SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST

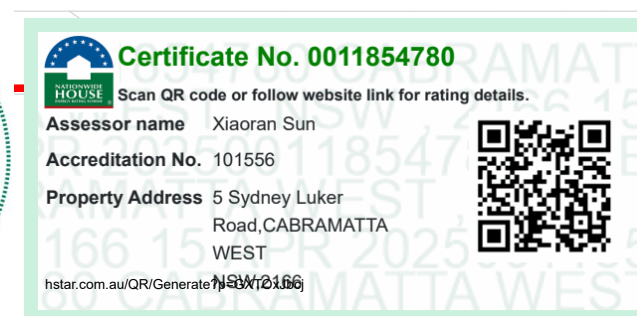
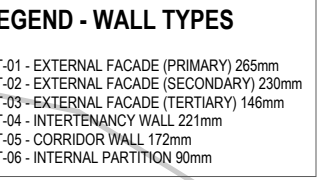


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**CHECKED BY** LVE  
**DATE CREATED** 20/11/24

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**TITLE**  
**GROUND LEVEL**  
**DRAWING N°.** DA100  
**REVISION** A





## A



SATARA AVENUE

2  
DA300  
SYDNEY LUKER ROAD

UTZON ROAD

3  
DA051

2  
DA350

3  
DA301

1  
DA350

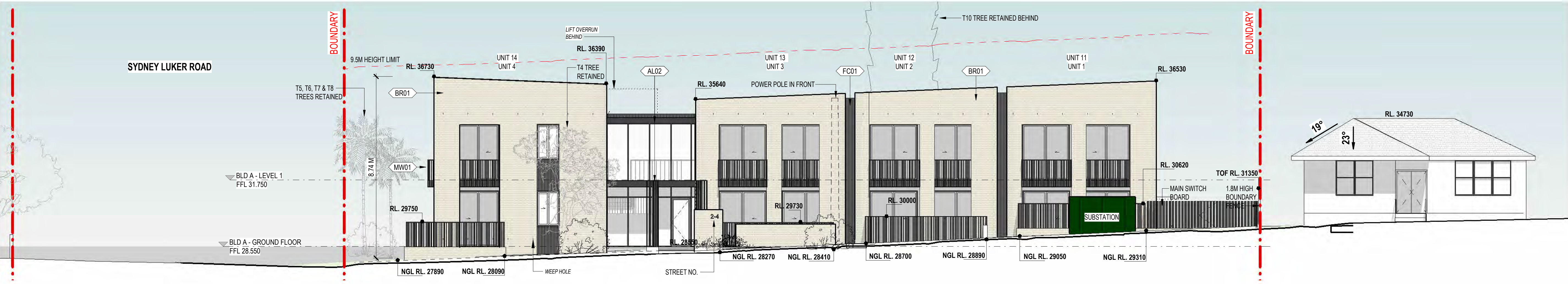
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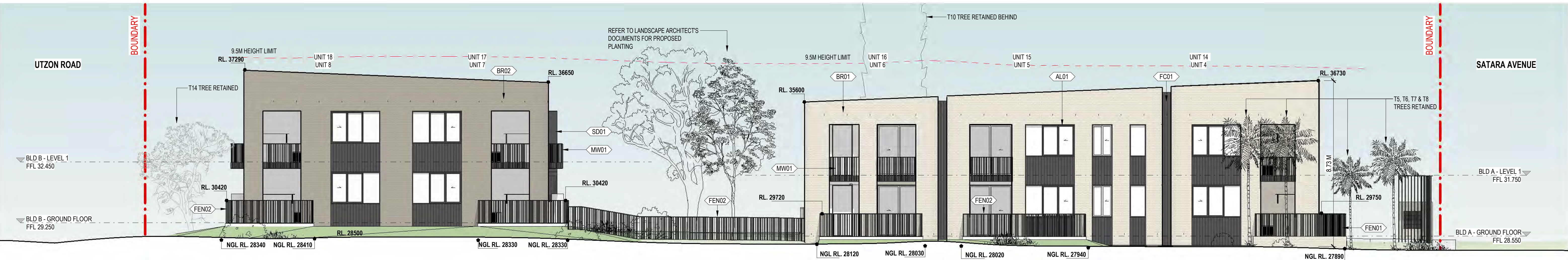
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1 NORTH ELEVATION  
SCALE 1:100



2 EAST ELEVATION  
SCALE 1:100



3 SOUTH ELEVATION  
SCALE 1:100

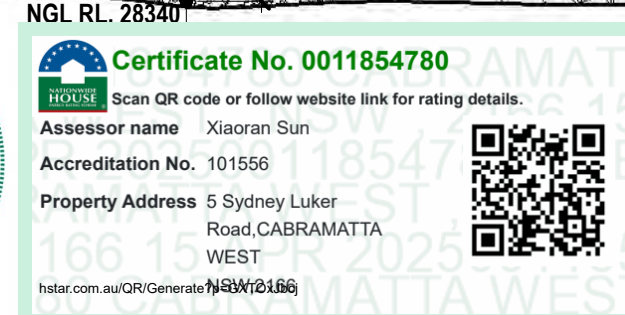
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PROJECT  
**CABRAMATTA WEST  
SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST



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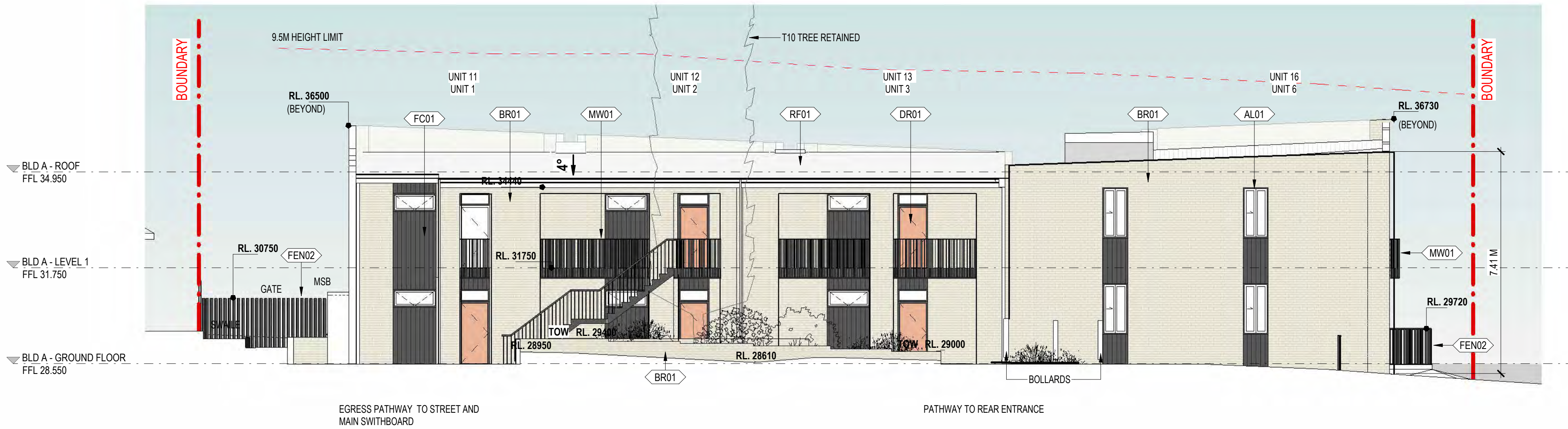
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DRAWING N°. **DA300**

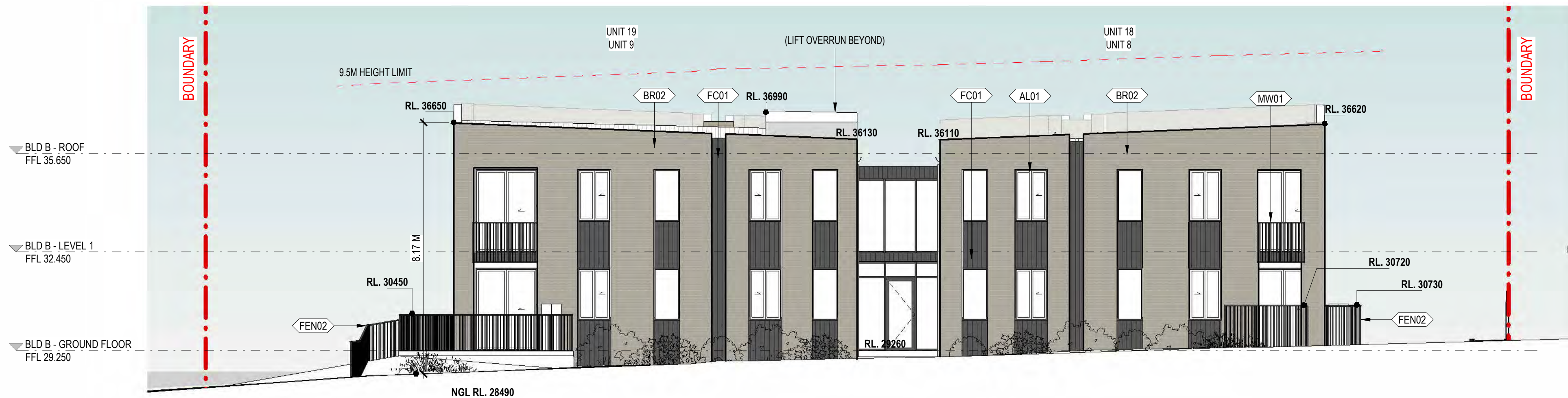


REVISION  
**A**

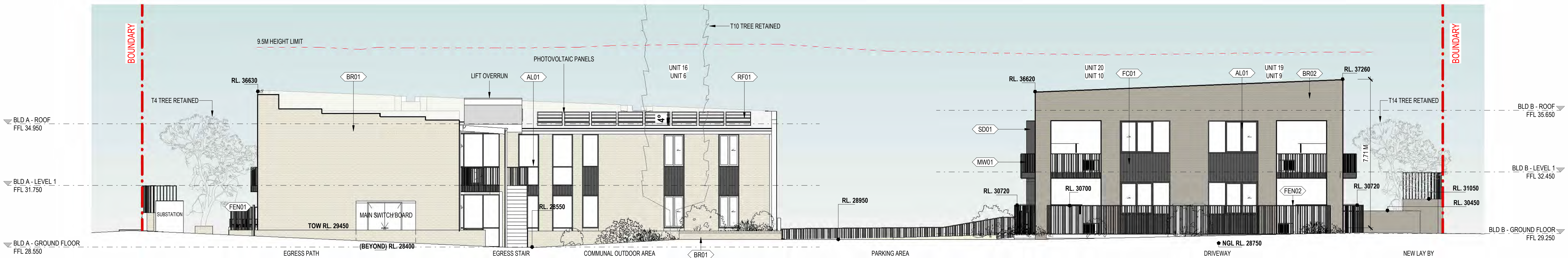




1 COURTYARD NORTH ELEVATION  
SCALE 1:100



2 COURTYARD SOUTH ELEVATION  
SCALE 1:100



3 WEST ELEVATION  
SCALE 1:100

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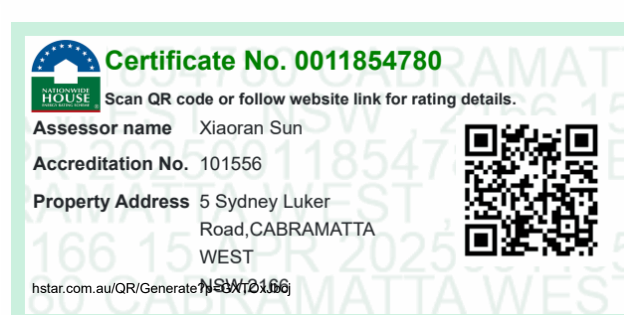
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NSW GOVERNMENT

Homes NSW

PROJECT  
**CABRAMATTA WEST SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST



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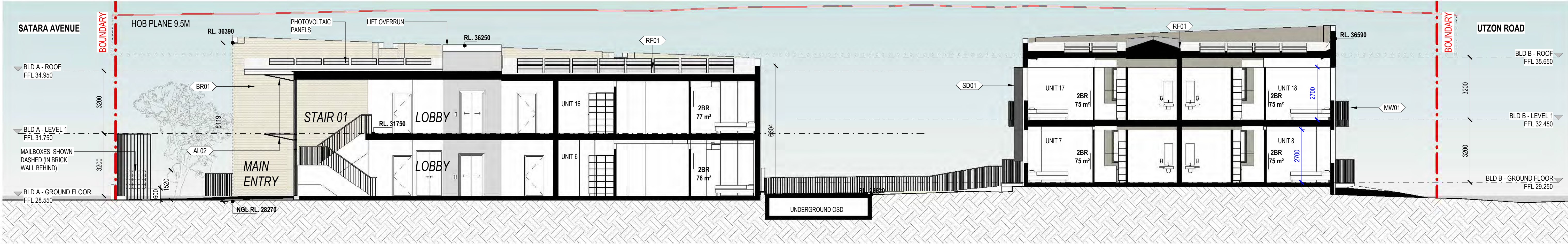
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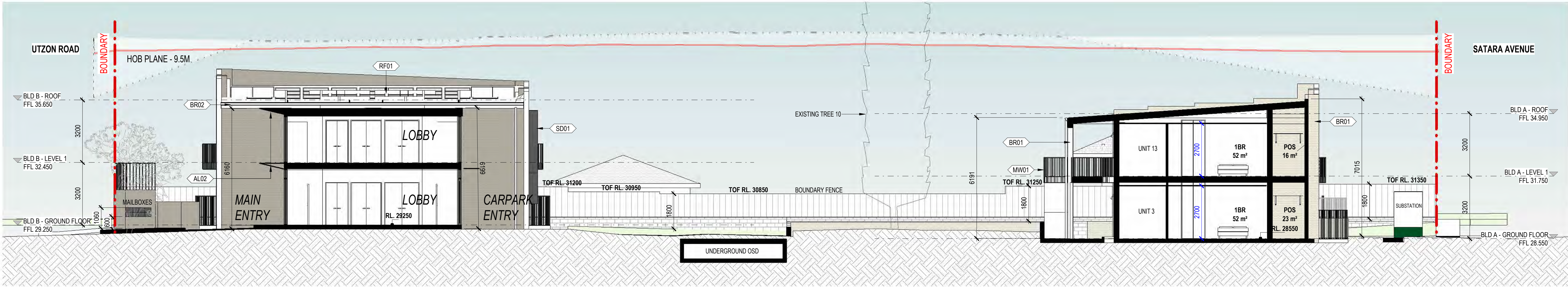
REVISION  
**A**

Homes NSW  
APPROVED PLANS  
PART 5 (B15-1) ACTIVITY DETERMINATION  
Date: 8 July 2025  
Project No.: BH2CF





1 NORTH SOUTH SECTION 01  
SCALE 1:100



2 NORTH-SOUTH SECTION 02  
SCALE 1:100

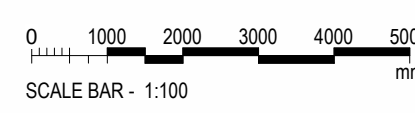
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**PROJECT**  
**CABRAMATTA WEST SENIORS HOUSING**  
**PROJECT ADDRESS**  
**2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3 UTZON ROAD CABRAMATTA WEST**  
**A** 27/02/2025 DA SUBMISSION  
**NO.** **DATE** **REVISION**



**PROJECT N°.** P23-182 / BH2CF  
**STATUS** FOR DA  
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**TITLE**  
**GA SECTIONS**  
**DRAWING N°.**  
**DA350**



**REVISION**  
**A**



TITLE	REVISION
<b>GFA PLANS &amp; ADG &amp; DEEP SOIL COMPLIANCE</b>	
DRAWING N <sup>o</sup> .	
<b>DA400</b>	<b>A</b>





1 SUN POSITION VIEW - JUNE 21, 09.00



2 SUN POSITION VIEW - JUNE 21, 10.00



3 SUN POSITION VIEW - JUNE 21, 11.00



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CLIENT  
NSW  
GOVERNMENT

Homes  
NSW

PROJECT  
CABRAMATTA WEST  
SENIORS HOUSING

PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST

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NO. DATE REVISION

PROJECT N°. P23-182 / BH2CF  
STATUS FOR DA  
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DRAWN BY BG CHECKED BY LVE DATE CREATED 20/11/24

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TITLE  
VIEW FROM THE SUN  
DIAGRAMS  
DRAWING N°. DA410

REVISION  
A







1 SUN POSITION VIEW - JUNE 21, 13.00



2 SUN POSITION VIEW - JUNE 21, 14.00



3 SUN POSITION VIEW - JUNE 21, 15.00



4 SUN POSITION VIEW - JUNE 21, 16.00

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Homes  
NSW

PROJECT  
CABRAMATTA WEST  
SENIORS HOUSING  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST

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NO. DATE REVISION

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SCALE BAR - 1:200

TITLE  
VIEW FROM THE SUN  
DIAGRAMS  
DRAWING N°. DA411

REVISION  
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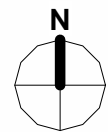
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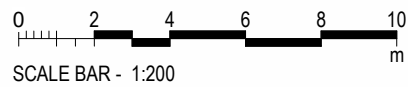
PROJECT  
**CABRAMATTA WEST  
SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST



A 27/02/2025 DA SUBMISSION  
NO. DATE REVISION



PROJECT N°. P23-182 / BH2CF  
STATUS FOR DA  
SCALE 1 : 200 @ A1  
DRAWN BY LT CHECKED BY LVE DATE CREATED 20/11/24



TITLE  
**SHADOW DIAGRAM -  
9AM JUNE 21**  
DRAWING N°. DA420



REVISION  
**A**





DesignInc

Nominated Architects  
Ian Armstrong 7260  
Cameron Martin 9194  
Cathryn Drew-Bredin 7269  
Mary Anne McGirr 10946

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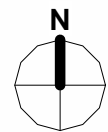
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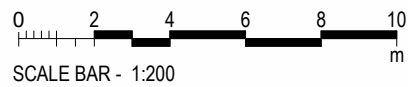
PROJECT  
**CABRAMATTA WEST  
SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST



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SCALE 1 : 200 @ A1  
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TITLE  
**SHADOW DIAGRAM -  
12PM JUNE 21**  
DRAWING N°. **DA421**  
REVISION **A**







DesignInc

Nominated Architects  
Ian Armstrong 7260  
Cameron Martin 9194  
Cathryn Drew-Bredin 7269  
Mary Anne McGirr 10946

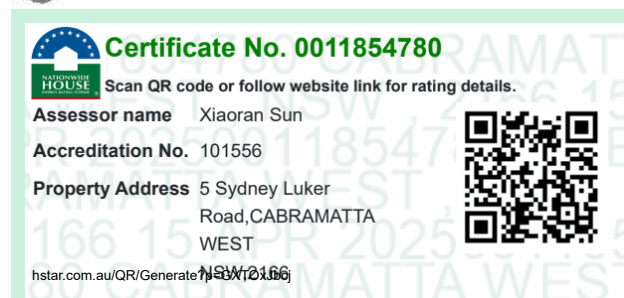
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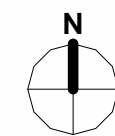


PROJECT  
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SENIORS HOUSING**

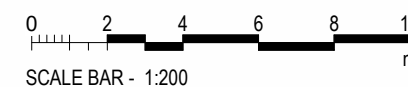
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2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST



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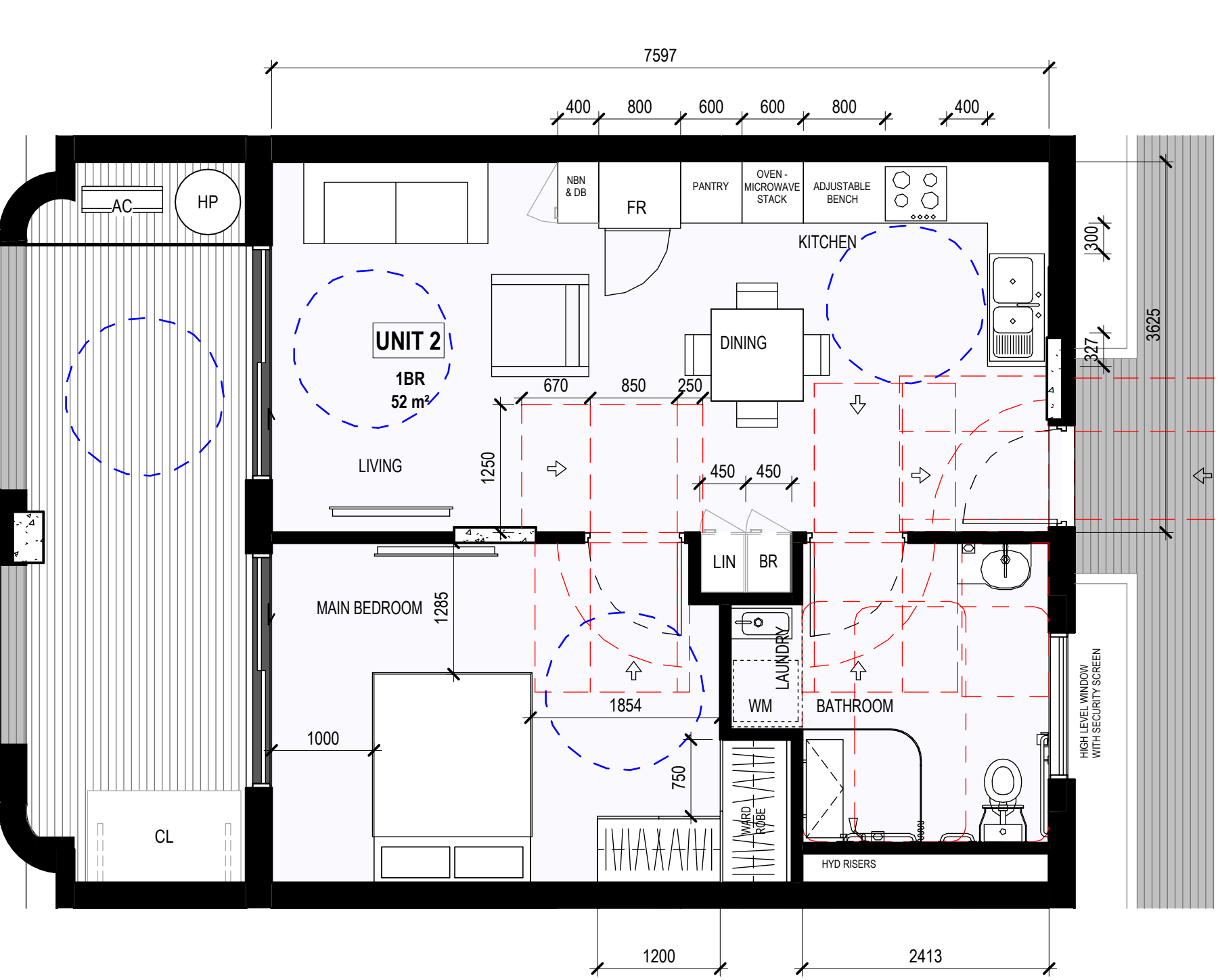


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3PM JUNE 21**  
DRAWING N°. DA422

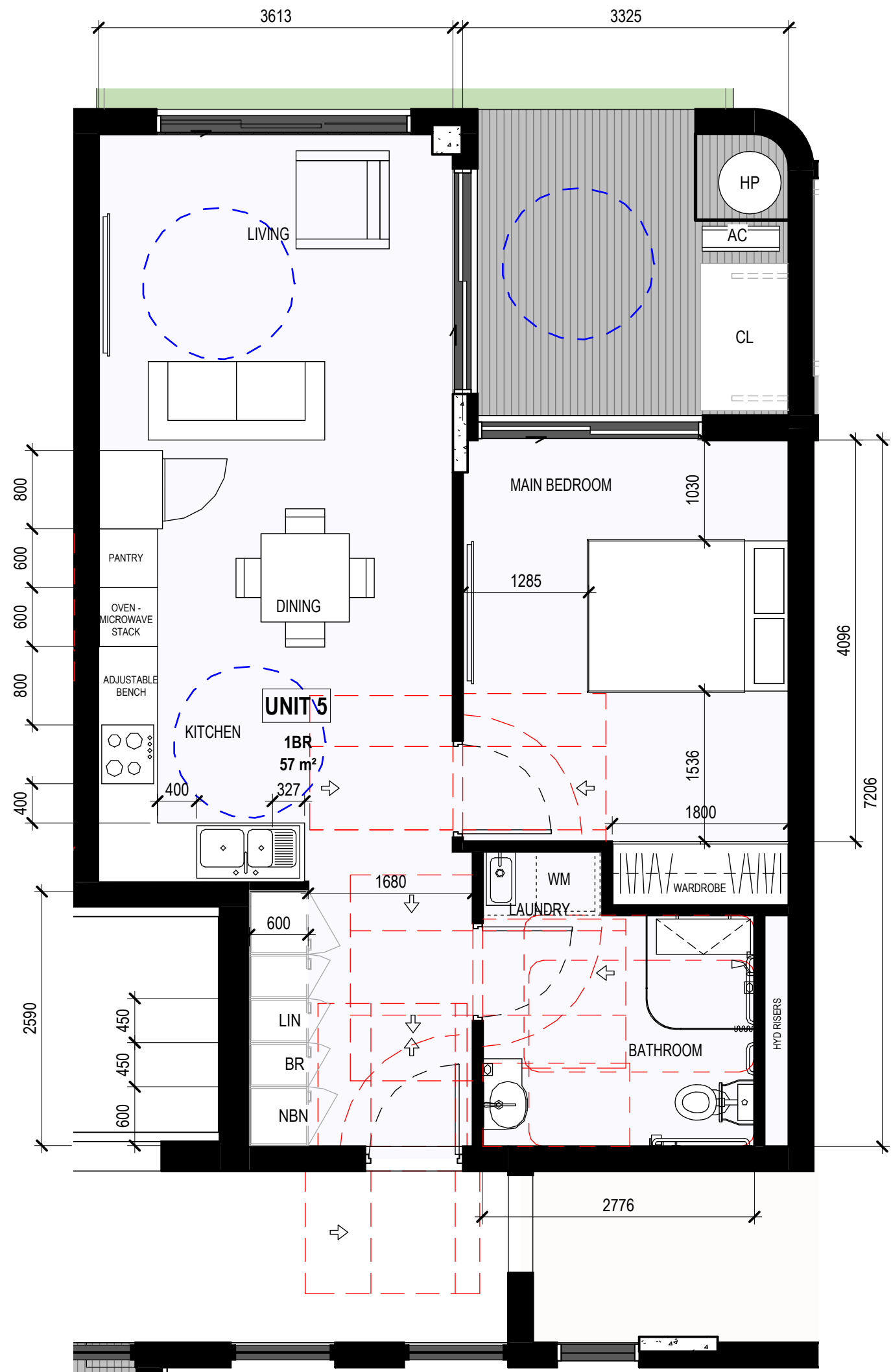


REVISION  
**A**





1 GROUND FLOOR



2 GROUND FLOOR

DWELLING TYPE:	1BR-A
NUMBER OF BEDROOMS:	1
INTERNAL AREA:	52m <sup>2</sup>
POS:	Ground Level: 23m <sup>2</sup> Level 1: 16m <sup>2</sup>

DWELLING TYPE:	1BR-B
NUMBER OF BEDROOMS:	1
INTERNAL AREA:	57m <sup>2</sup>
POS:	Ground Level: 22m <sup>2</sup> Level 1: 10m <sup>2</sup>

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Ian Armstrong 7260  
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PROJECT  
**CABRAMATTA WEST  
SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST

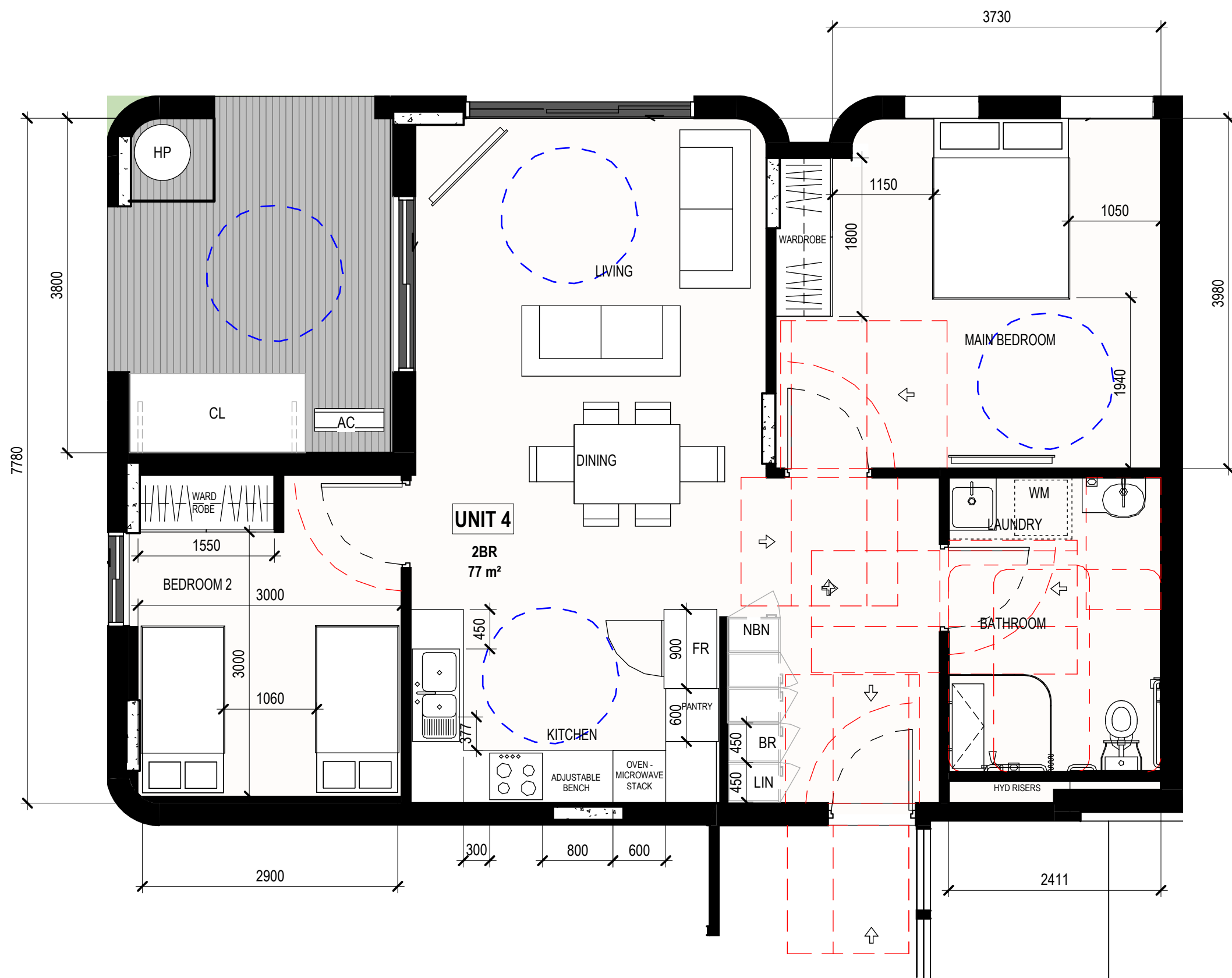


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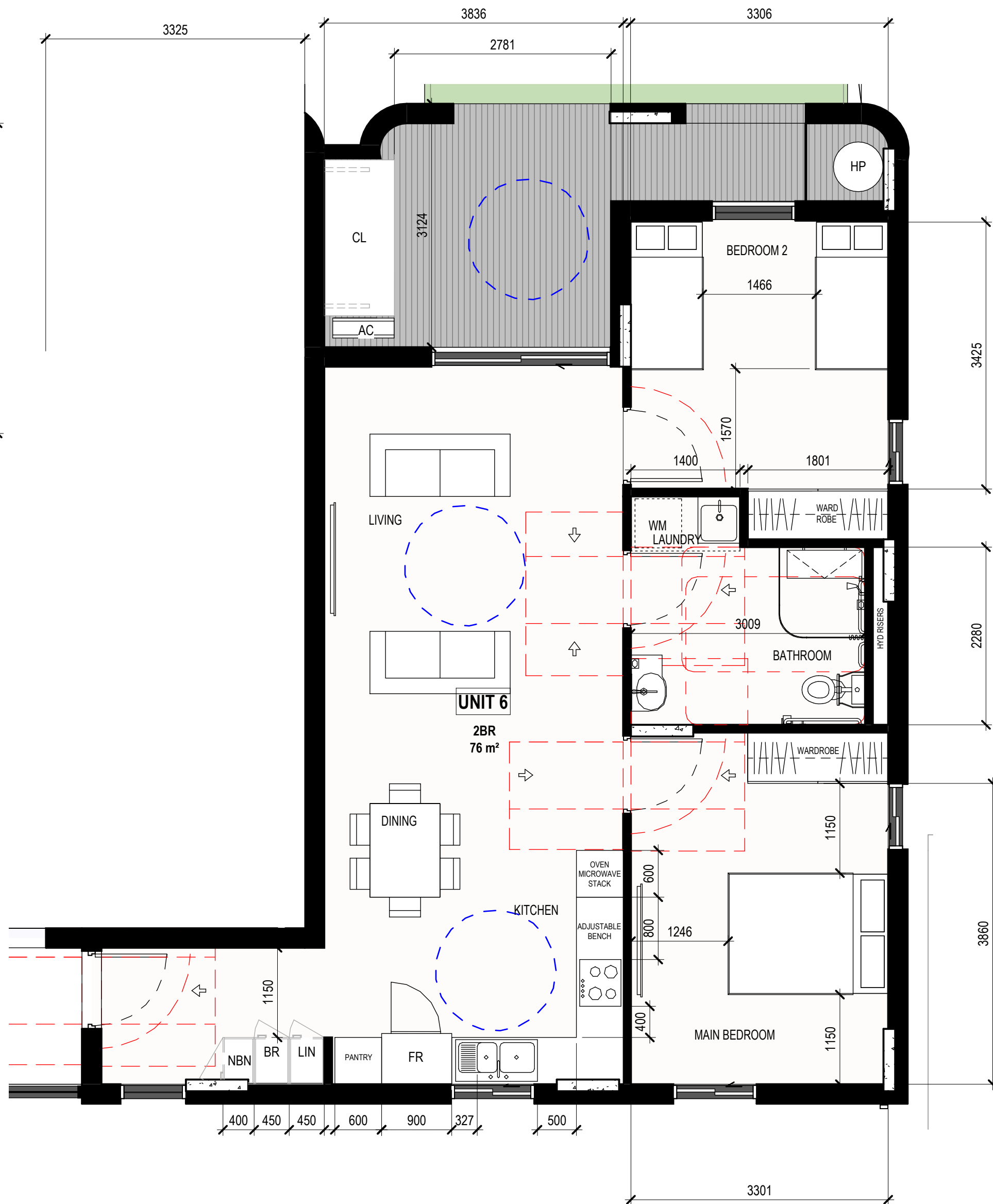
TITLE  
**TYPICAL DWELLING  
TYPES 1 BED  
DA450**

REVISION  
**A**





1 GROUND FLOOR



2 GROUND FLOOR



3 GROUND FLOOR

DWELLING TYPE:	2BR-A
NUMBER OF BEDROOMS:	2
INTERNAL AREA:	77m²
POS:	Ground Level: 24m²
	Level 1: 12m²

DWELLING TYPE:	2BR-B
NUMBER OF BEDROOMS:	2
INTERNAL AREA:	76m²
POS:	Ground Level: 21m²
	Level 1: 14m²

DWELLING TYPE:	2BR-C
NUMBER OF BEDROOMS:	2
INTERNAL AREA:	76m²
POS:	Ground Level: 27m²
	Level 1: 13m²

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Cameron Martin 9194  
Cathryn Drew-Bredin 7269  
Mary Anne McGirr 10946

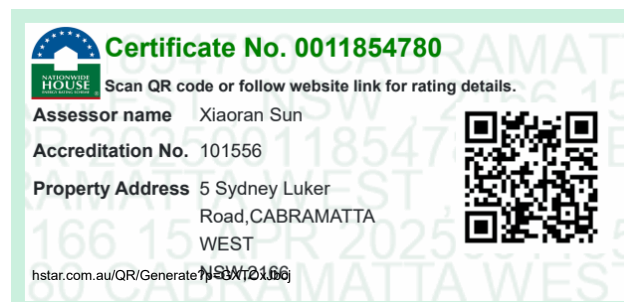
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NSW  
GOVERNMENT

Homes  
NSW

PROJECT  
CABRAMATTA WEST  
SENIORS HOUSING  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3  
UTZON ROAD CABRAMATTA WEST



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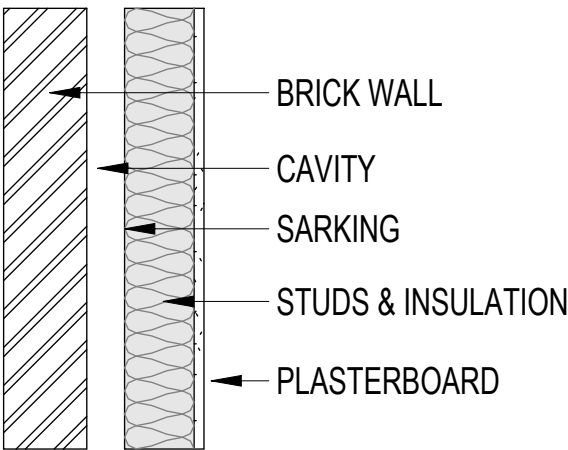
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TITLE  
TYPICAL DWELLING  
TYPES 2 BED  
DRAWING N°. DA451



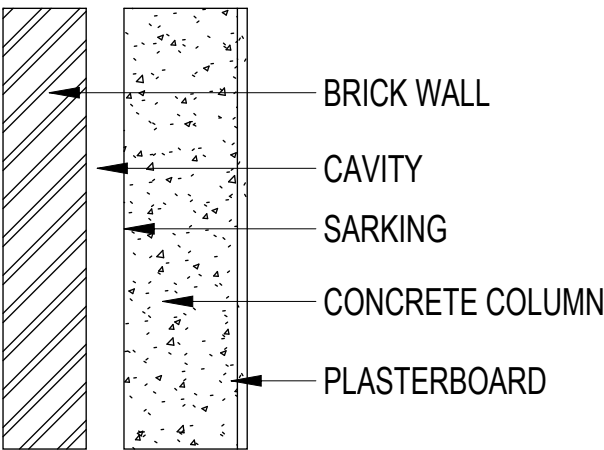
REVISION  
A





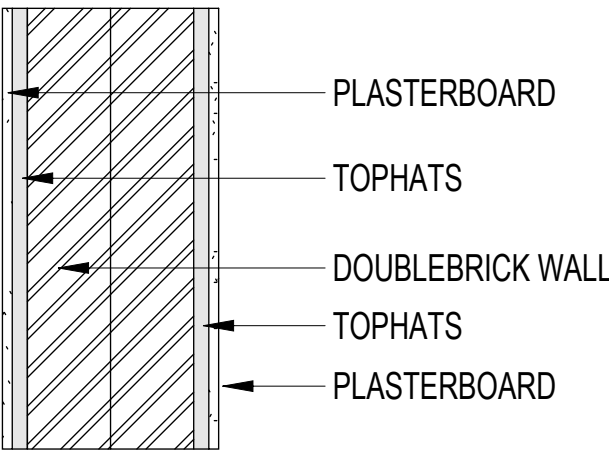
WALL TYPE 1

FRL 90



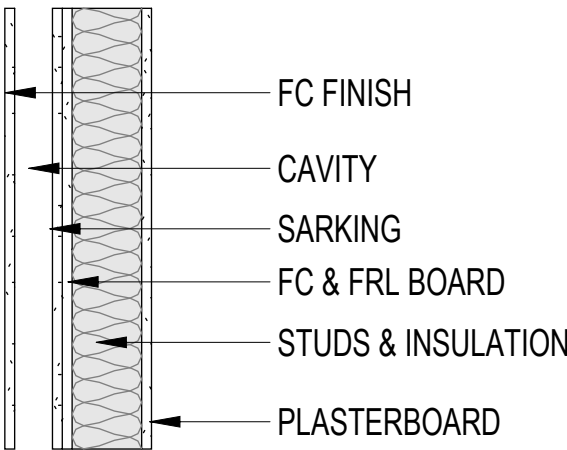
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FRL 90



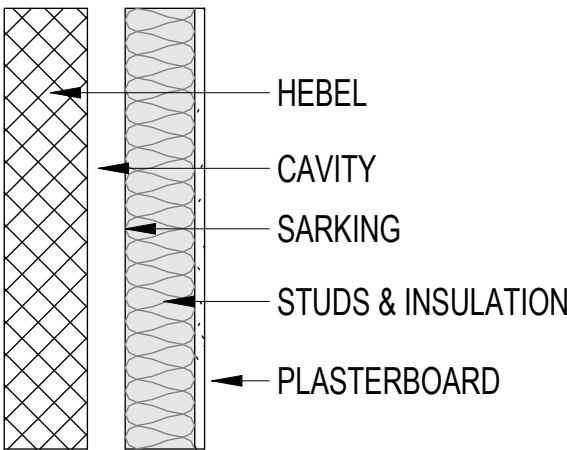
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FRL 90



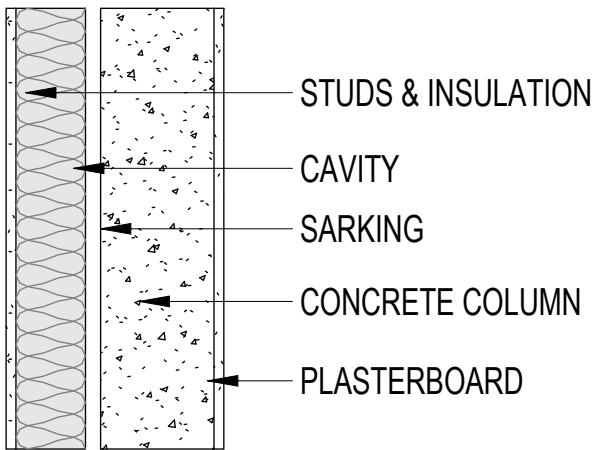
WALL TYPE 3

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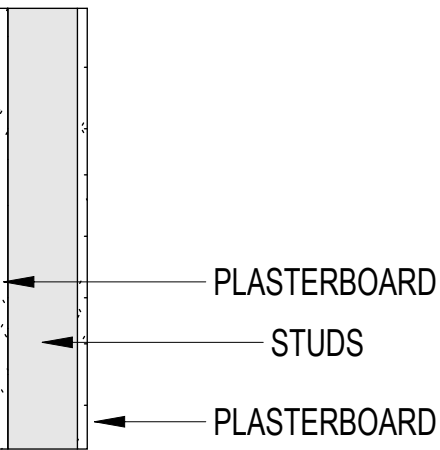
WALL TYPE 1

FRL 90



WALL TYPE 5  
CONTINUOUS WALL

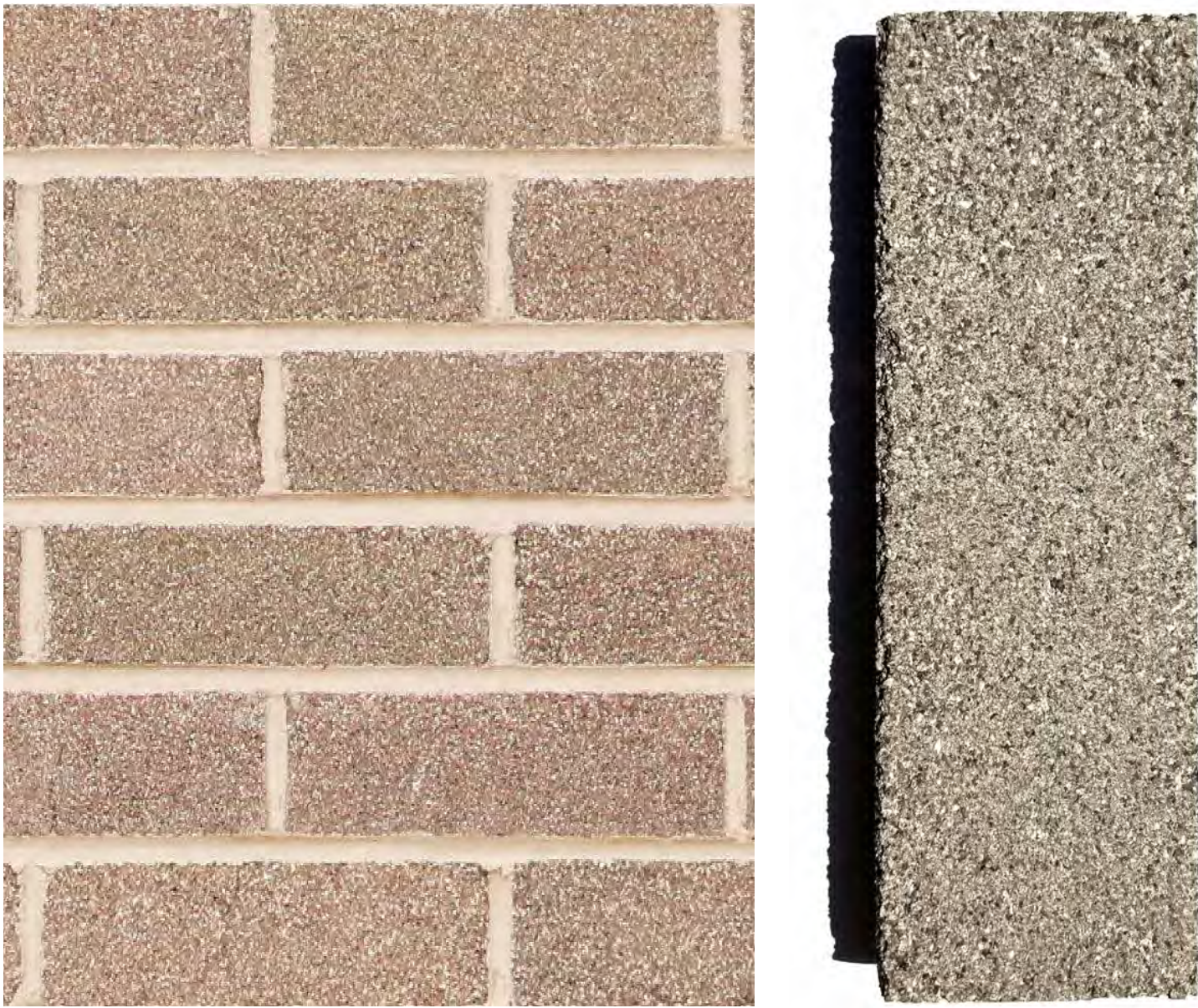
FRL 90



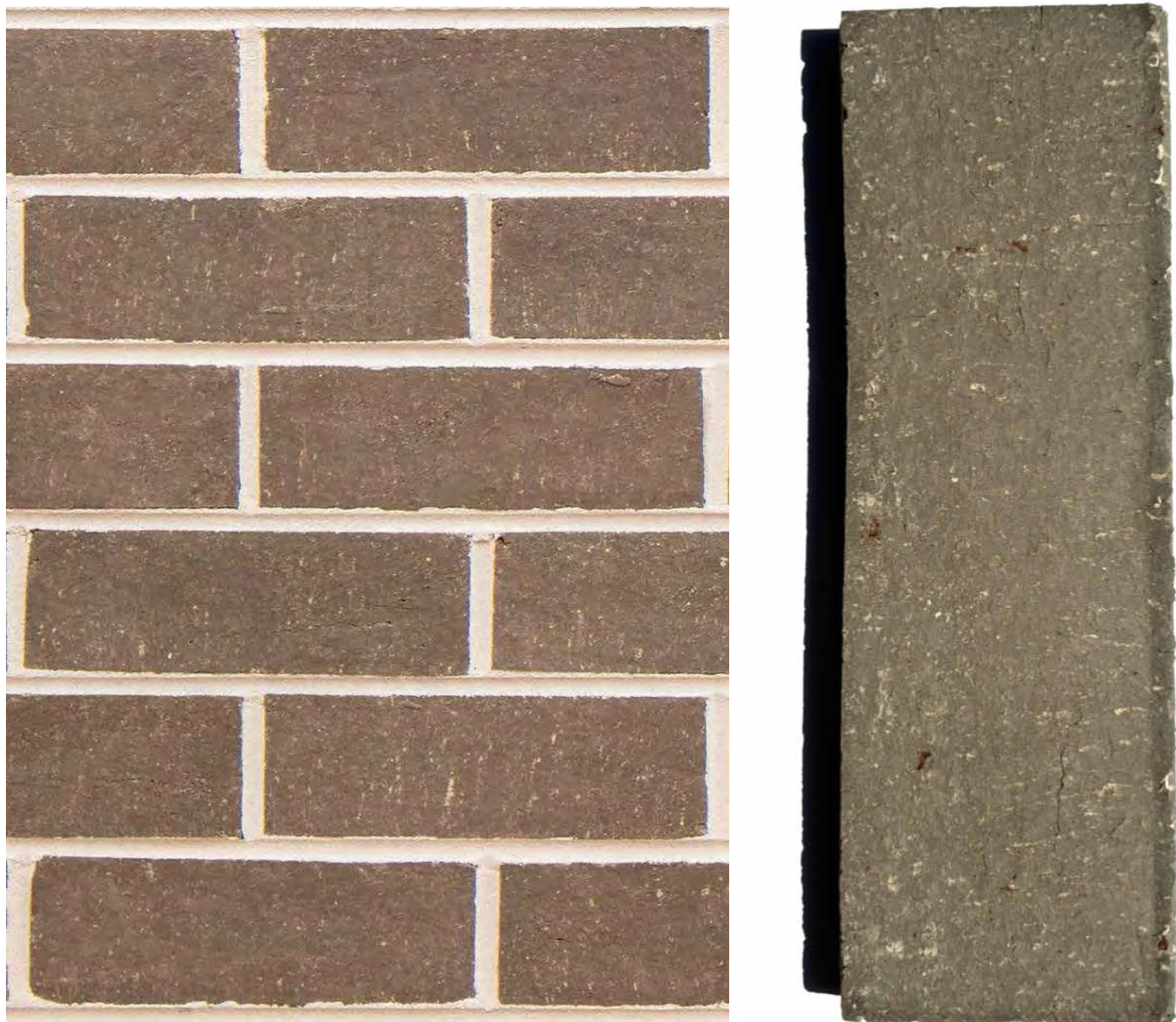
WALL TYPE 6

FRL 90





BR01 - BRICK FINISH TYPE 1 - 'BOWRAL SIMMENTAL SILVER' 76mm OR EQUAL NORTHERN BUILDING



BR02 - BRICK FINISH TYPE 2 - 'NUBRIK ARTISAN WOLF' 76mm OR EQUAL SOUTHERN BUILDING



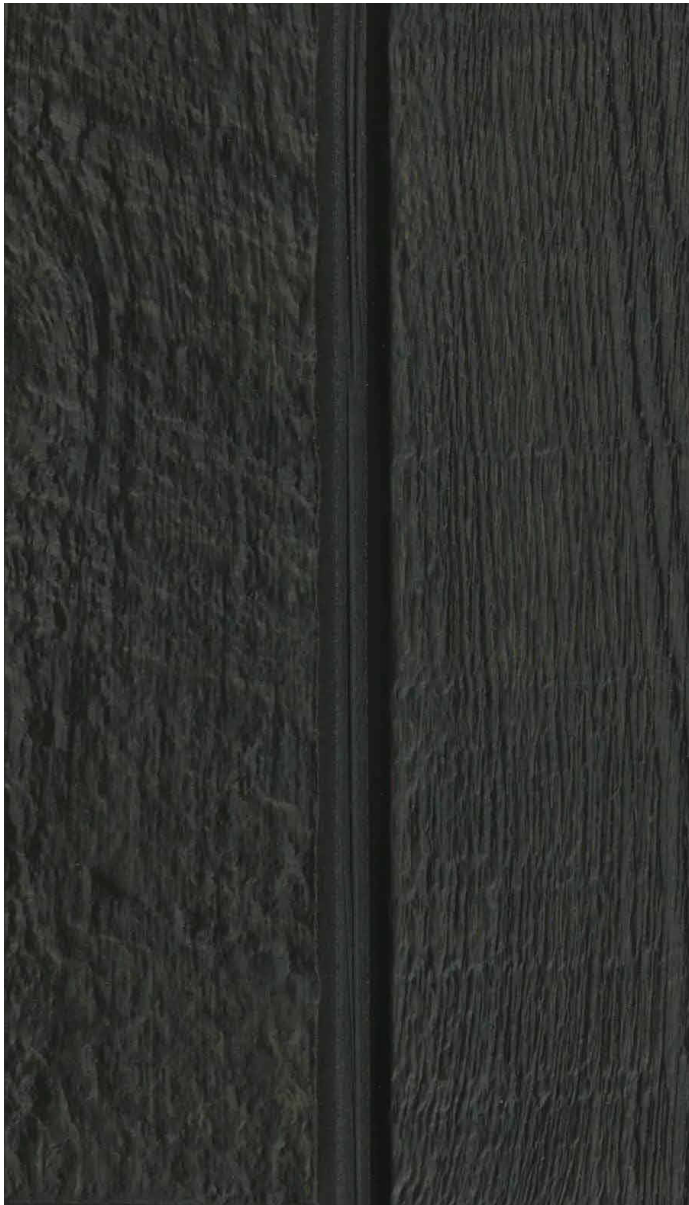
FEN01 - FENCING TYPE 1 - 45° PALISADE MONUMENT POWDERCOAT ON BRICK PLINTH OR EQUAL  
FEN02 - FENCING TYPE 2 - 45° PALISADE MONUMENT POWDERCOAT OR EQUAL



MW01 - METALWORK TYPE 1 - RAILING IN MONUMENT POWDERCOAT FINISH OR EQUAL



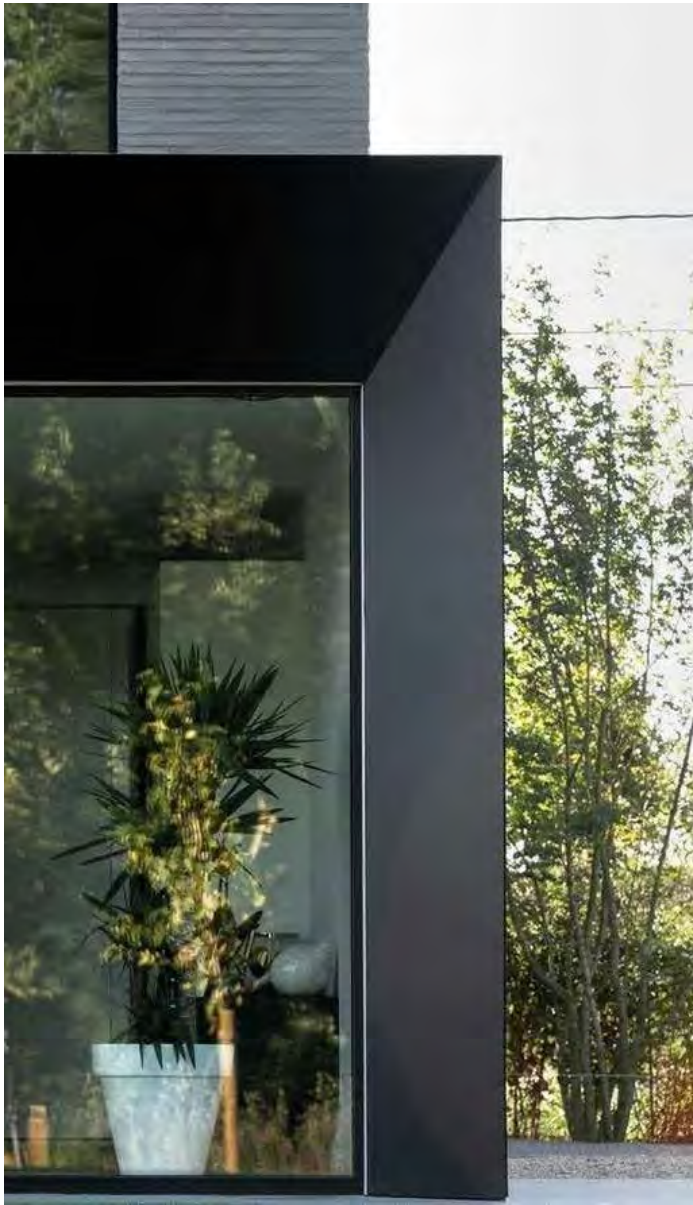
AL01 - ALUMINIUM WINDOW FRAME TYPE 1 - MONUMENT POWDERCOAT



CC01 - FIBRE CEMENT CLADDING TYPE 1 - CEMINTEL TERRITORY WOODLANDS 'EBONY'



SD01 - SHADING DEVICE TYPE 1 - HEKA FULL SURROUND HOOD IN MONUMENT POWDERCOAT FINISH



AL02 - ALUMINIUM ENTRY AWNING MONUMENT POWDERCOAT



DR01 - 'TERRACOTTA' COLOURED PAINTED ENTRY DOOR WITH CONTRASTING FRAME IN MONUMENT FINISH



GREY MORTAR - MORTEX



MAILBOXES IN MONUMENT FINISH TO MATCH MW01, INTEGRATED INTO BR01/BR02 BRICK WALL



MS01 - MESH SCREEN WITH DOORS POWDERCOATED TO MATCH BRICK COLOUR (MIN. 70% FREE-AIR REQUIRED)



PROJECT  
**CABRAMATTA WEST SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3 UTZON ROAD CABRAMATTA WEST

STREET FINISH

ABSAR  
Accreditation Period: 13/04/2024 - 30/04/2025  
Assessor Name: Xiaoran Sun  
Assessor Number: 109556

Certificate No. 0011854780  
Scan QR code or follow website link for rating details.  
Assessor name: Xiaoran Sun  
Accreditation No.: 101556  
Property Address: 5 Sydney Luker Road, CABRAMATTA WEST  
166-155-2025  
hstar.com.au/QR/Generate/NSW/2486



SHEETING TYPE 1 - CUSTOM ORB ACCENT 21 IN SURFMIST PIPES - SURFMIST FINISH TO MATCH RF01  
ERS & EAVES - SURFMIST FINISH TO MATCH RF01

**DesignInc**

Nominated Architects  
Ian Armstrong 7260  
Cameron Martin 9194  
Cathryn Drew-Bredin 7269  
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NSW GOVERNMENT  
Homes NSW

PROJECT  
**CABRAMATTA WEST SENIORS HOUSING**  
PROJECT ADDRESS  
2-4 SATARA AVENUE, 5 SYDNEY LUKER ROAD, 1-3 UTZON ROAD CABRAMATTA WEST

NO. 27/02/2025 DA SUBMISSION  
DATE REVISION

PROJECT N°. STATUS  
SCALE  
DRAWN BY LT CHECKED BY LVE DATE CREATED 20/11/24

P23-182 / BH2CF FOR DA @ A1

TITLE  
**MATERIAL SCHEDULE**

DRAWING N°. **DA900**

REVISION **A**





PERSPECTIVE IMAGE - SYDNEY LUKER ROAD



PERSPECTIVE IMAGE - SATARA AVENUE



PERSPECTIVE IMAGE - UTZON ROAD

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Cameron Martin 9194  
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TITLE  
PERSPECTIVES  
DRAWING N°. DA905



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